



136 North Monroe Street
Waterloo, Wisconsin 53594-1198

NOTICE OF A CITY OF WATERLOO PLAN COMMISSION MEETING

Pursuant to Section 19.84 Wisconsin Statutes, notice is hereby given to the public and the news media, the following meeting will be held to consider the following:

MEETING: PLAN COMMISSION
DATE: TUESDAY, September 28, 2021 **TIME: 7:00 p.m.**
LOCATION: 136 N. MONROE STREET, MUNICIPAL BUILDING COUNCIL CHAMBERS

Join Zoom Meeting: <https://us02web.zoom.us/j/87995831328?pwd=U242bTZ1MmxVc25PUUUydUo3QkhqUT09>
Meeting ID: 879 9583 1328 Passcode: 596947

Dial-in By Phone
+1 312 626 6799 US (Chicago)
Meeting ID: 879 9583 1328 Passcode: 596947

PUBLIC HEARING (1) – Rezoning McKay Way Lots 1-6 And 32-41 From Residential District (R-2) To A Planned Development District (PDD) For Purposes Of Establishing Residential Dwelling Units On The Parcels, Applicant: JGP Development LLC

1. Call To Order
2. Public Hearing
3. Adjourn Public Hearing

PUBLIC HEARING (2) – Conditional Use Application To Allow For An Additional Garage On The Subject Property Exceeding 144 Square Feet, 1113 Lum Avenue, Applicant: Kathy Zweig

1. Call To Order
2. Public Hearing
3. Adjourn Public Hearing

PLAN COMMISSION REGULARLY SCHEDULED MEETING

1. CALL TO ORDER AND ROLL CALL
2. APPROVAL OF MEETING AND PUBLIC HEARING MINUTES: August 24, 2021
3. CITIZEN INPUT
4. COMPLIANCE & ENFORCEMENT REPORT
 - a. Discussion & Action On Plan Commission Compliance Measures (tabled from last meeting)
5. UNFINISHED BUSINESS
 - a. Agricultural District Draft Ordinance For Review And Council Recommendation (Council Referral Of Denied A Commercial/Industrial Use Request In An Agricultural District, Thomas & Theresa Jaeger, 200 Clarkson Road. NOTE: On August 5th, the City Council denied a July 27, 2021 Plan Commission recommendation determination stating that a proposed welding/repair business at this property would be a use customarily incident to permitted Agricultural District permitted uses. Immediately after voting to deny the determination, Alders referred the matter back to the Plan Commission.)
 - b. Conditional Use Application, Jefferson County Sheriff, unaddressed Herron Court parcel (parcel ID 290-0813-0613-034, located directly south of 735 Herron Court). The applicant is requesting

a conditional use permit to allow the existing tower height to be increased. A conditional use permit is required for a change in height for an existing communication tower.

- c. Street Lighting At Intersection Of State Highways 19 & 89 (4-corners) & Adjacent Park Lighting

6. NEW BUSINESS

- a. Certified Survey Map Applications, McKay Way Lots 32, 33 & 39, Arc Designs Resources Inc., Representing JGP Development LLC
- b. Rezoning McKay Way Lots 1-6 And 32-41 From Residential District (R-2) To A Planned Development District (PDD) For Purposes Of Establishing Residential Dwelling Units On The Parcels, Applicant JGP Development LLC,
- c. Conditional Use Application To Allow For An Additional Garage On The Subject Property Exceeding 144 Square Feet, 1113 Lum Avenue, Applicant Kathy Zweig
- d. 310 Portland Road. Plan Commission On CDA Direction On Property Questions From UFP's Chuck King, Referred By Mayor
- e. Plan Commission Consideration And Report On Resolution #2021-38 Authorizing The Sale And Transfer Of Land Consisting Of The Eastern Portion Of Parcel 290-0813-0533-040 Located Between 136 North Monroe Street And 124 North Monroe Street From The City Of Waterloo To Milo H Sillman Trust Or Future Owners Of 124 North Monroe Street, Before Council Final Action, Per See Scanlon v. City of Menasha, 16 Wis.2d 437, 114 N.W.2d 791 (1962) Wisconsin Supreme Court As Recommended By The City Attorney

7. FUTURE AGENDA ITEMS & ANNOUNCEMENTS

- a. Comprehensive Plan Implementation, Zoning Maps & Planning Map Updates

8. ADJOURNMENT

Mo Hansen

Mo Hansen, Clerk/Treasurer

Posted, Distributed & Emailed: 09/22/2021

Members: Leisses, Quimby, Petts, Crosby, Reynolds, Lannoy, and Sorenson

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meeting(s) to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request such services please contact the clerk's office at the above location.

**NOTICE OF CITY OF WATERLOO PLAN COMMISSION PUBLIC HEARING FOR LAND USE REZONING
FROM A SINGLE-FAMILY RESIDENTIAL DISTRICT (R-2) TO A PLANNED DEVELOPMENT DISTRICT (PDD)
UNDER PROVISIONS OF CHAPTER §385-31 CHANGES AND AMENDMENTS**

Please take notice that the Plan Commission of the City of Waterloo, Jefferson County, Wisconsin, acting under provisions of Chapter §385-31 changes and amendments of the Zoning Code of the City of Waterloo, shall hold a public hearing on the matter of an application from the JGP Development LLC, regarding the property located along McKay Way including Lots 1-6 inclusive, and Lots 32 through 41 inclusive, located in the City of Waterloo.

The land use-rezoning request is to allow a change in land use from existing Residential District (R-2) to a Planned Development District (PDD) for purposes of establishing residential dwelling units on the parcels.

The property is described as follows:

Lot Descriptions: DeYoung Farm Plat 1 Lots 1-6 inclusive and Lots 32-41 inclusive.

Be further notified that the Plan Commission will hear all persons interested or their agents or attorneys concerning the recommendation for a land use zoning change at a public hearing to be held at **7:00 p.m., on Tuesday, September 28, 2021 in the Council Chamber of the Municipal Building, 136 N. Monroe Street, Waterloo.**

Subsequent to the public hearing, the Plan Commission shall recommend approval, denial or conditional approval of the land use rezoning request to the Common Council. The Common Council will act on the Plan Commission's recommendation at its regular scheduled October 7, 2021 meeting.

Mo Hansen
City Clerk/Treasurer

PUB: The Courier: September 23, 2021



136 North Monroe Street
Waterloo, WI 53594
Phone: (920) 478-3025
Fax: (920) 478-2021
www.waterloowi.us

**NOTICE OF PUBLIC HEARING FOR CONDITIONAL USE PERMIT UNDER PROVISIONS
OF CHAPTER §385-8(B) (7) OF THE ZONING CODE OF THE CITY OF WATERLOO,
JEFFERSON COUNTY, WISCONSIN**

Please take notice that the Plan Commission of the City of Waterloo, Jefferson County, Wisconsin, acting under provisions of Chapter §385-8(B) (7) of the Zoning Code of the City of Waterloo, shall hold a public hearing on the matter of a conditional use application received from Kathy Zweig, owner of 1113 Lum Ave.

The applicant is requesting a conditional use permit to allow for an additional garage on the subject parcel. A conditional use permit is required for a Residential District (R-1) property when an additional garage or accessory building exceeds 144 square feet.

The property is described as follows:

- Parcel 290-0813-0522-056 LOT 4, TREYBURN FARMS
- Also known as 1113 Lum Ave Waterloo

Be further notified that the Plan Commission will hear all persons interested or their agents or attorneys concerning the conditional use permit application at a public hearing. The public hearing will be held at **7:00 p.m. on Tuesday, September 28, 2021 in the Council Chamber of the Municipal Building, 136 N. Monroe Street, Waterloo.**

After the public hearing, the Plan Commission shall recommend approval, denial, or conditional approval of the conditional use permit to the Common Council. The City Council will act on the Plan Commission's recommendation at its regular scheduled meeting on Thursday, October 7, 2021.


Mo Hansen
City Clerk/Treasurer

Pub: The Courier: September 2, 2021

WATERLOO PLAN COMMISSION – Minutes for August 24, 2021

[a digital meeting recording also serves as the official record]

PUBLIC HEARING (1 of 2) – Conditional Use Application – Jefferson County Sheriff, Unaddressed Heron Court Parcel

1. CALL TO ORDER. Mayor Quimby called the public hearing to order at 7:00 pm. Plan Commissioners attending: Leisses, Crosby, Quimby, Sorenson, Lannoy and Petts. Absent: Reynolds. Others attending: Dean Jaeger; Tom Jaeger; Homer Braden; Sandra Braden; Lee Columbus; Elise Weihert; Clayton Weihert; Adam Fitzgerald; Jason/Kerri Meyer; Nancy Durig; Jessica Pickel; Alderperson Eric Rhynes; Lori Deppe; Jim Thompson; Dixie Lee Broetzman; Timothy Weihert; Debra Weihert; Pete Breunig; Todd Lindert, Jefferson County; Alderperson Charles Kuhl and the Clerk/Treasurer.
2. PUBLIC HEARING – Conditional Use Application, Jefferson County Sheriff, unaddressed Herron Court parcel (parcel ID 290-0813-0613-034, located directly south of 735 Herron Court). The applicant is requesting a conditional use permit to allow the existing tower height to be increased. A conditional use permit is required for a change in height for an existing communication tower. Tax Parcel #290-0813-0613-034. Discussion: Broetzman ask about the guidelines for public notification. The Clerk/Treasurer outlined the notification process linked to a conditional use application and timing of events. He invited all to sign-up for email notifications. Two attendees questioned why a distance of 200 feet was used as a notification criterion. The Mayor said it was not the first time such a question was asked. Multiple individuals posed questions about access. Durig asked, had the matter already been approved? Hansen said the City Council has been briefed at a public meeting with no vote taken. Multiple individuals posed site access questions. Sorenson in his Utility Superintendent role said an easement would be granted across land owned by the City; he had requested, and the plan included an asphalt accessway around the right side of the existing water reservoir; the improvements were meant to eliminate rutting of soft ground by vehicles; he had two viewed on a curb cut looking at either a curb cut with perhaps a chain, or no curb cut to deter unauthorized entry. Multiple individuals expressed concerns about access path rutting. Rhynes asked if other sites had been investigated. Lindert said a Portland site was ruled out due to the lack of coverage. Nancy Durig, a paramedic said: she understood the radio service needs; she did not object to the communication tower; she raised concerns about comments by water tower inspectors on site said the water tower was antiquated. Sorenson replied saying the water system improvements of serving the water tower were scheduled and cleaning was scheduled. Multiple attendees complained about the cleanliness of water tower. Durig said biodiversity was important to be maintained. She questioned Lindert about tree removal. In reply to a Crosby question, she said there have a lot of complaints going on regarding the water tower and adjacent properties.

Lindert described the new location of the proposed 12x16 building. Homer Braden said there are weeds inside the existing fenced area that are taller than he is. He said landscaping was promised at a prior time relating to the existing structure with no follow through; he said site maintenance and upkeep was lacking with no enforcement taking place, calling it a complete eyesore. He said it adversely affects property values. He raised an objection to the fence area being expanded towards his property. He asked if the County would install landscaping? An unidentified individual said commitments haven't been carried through before, so how can citizens expect them to be met going forward? Deppe questioned why the access would have asphalt.

Lindert said fiber optics could be a consideration but would add a significant monthly expense. In reply to a Jason Meyer question, the project was noted as raising the tower 20 feet. In reply to a Durig question, Lindert said changing the Watertown connecting point was not an option. In respond to the Mayor's question, Lindert said if fiber was installed a new building (12ft x 16ft) would also be needed. In reply to a Sandra Braden question, Hansen said if a fence was place on the property line, adjoining approval was needed; if it was pulled back a distance such that the County maintained both sides of fence adjoining owner approval was not needed. The Mayor said the process was for the Plan Commission to make a recommendation to the City Council for its final consideration.

3. ADJOURN PUBLIC HEARING. The Mayor closed the public hearing at 8:10 pm.

PUBLIC HEARING (2 of 2) – Conditional Use Application- Adam Fitzgerald, 217 Maple Drive

1. CALL TO ORDER. Mayor Quimby called the public hearing to order at 8:11 pm. Plan Commissioners attending: Leisses, Crosby, Quimby, Sorenson, Lannoy and Petts. Absent: Reynolds. Others attending: Dean Jaeger; Tom Jaeger; Elise Weihert; Clayton Weihert; Adam Fitzgerald; Timothy Weihert; Debra Weihert; Todd Lindert, Jefferson County; Alderperson Charles Kuhl and the Clerk/Treasurer.
2. PUBLIC HEARING – Conditional Use Application, Adam Fitzgerald, 217 Maple Drive. The applicant requests a

conditional use permit to allow for an additional garage. A conditional use permit is required for a Residential District (R-1) property when an additional garage or accessory building exceeds 144 square feet. Tax Parcel #290-0813-0522-013. No individuals spoke in favor or in opposition.

3. ADJOURN PUBLIC HEARING. The Mayor closed the public hearing at 8:12 pm.

PLAN COMMISSION REGULARLY SCHEDULED MEETING

1. CALL TO ORDER AND ROLL CALL. See item #1 immediately above.
2. APPROVAL OF MEETING AND PUBLIC HEARING MINUTES: July 27, 2021. MOTION: [Crosby/Lannoy] To approve the minutes as presented. VOICE VOTE: Motion carried.
3. CITIZEN INPUT. None.
4. COMPLIANCE & ENFORCEMENT REPORT
 - a. Discussion & Action On Plan Commission Compliance Measures. DISCUSSION: Weihert family member asked about the courtesy compliance note sent by the Clerk/Treasurer regarding farm odor on Clarkson Road. Hansen said the matter was not on the report as only open items are reported out, and the item was closed after action was taken to address odor at the farm located within the City of Waterloo on Clarkson Road. MOTION: [Sorenson/Crosby] To table until next meeting.
5. NEW BUSINESS
 - a. Street Lighting At Intersection Of State Highways 19 & 89 (4-corners) And Adjacent Park Lighting. DISCUSSION: Leisses gave an update and said he would forward fixture details to Sorenson for consideration of purchasing luminaires with greater lighting capacity. No action taken.
 - b. City Council Referral Of Denied A Commercial/Industrial Use Request In An Agricultural District, Thomas & Theresa Jaeger, 200 Clarkson Road. DISCUSSION: Hansen circulated an email from the Tom Jaeger. Sorenson shared his research after looking at Jefferson County and Dane County ordinance. Tom Jaeger said Village of Lowell ordinance as routed by Alder Kuhl may offer flexibility. Kuhl spoke in favor of the project but said the ordinance would have to be amended in some way to fit the project. Dean Jaeger said his Town of York 10-acre rural parcel was zoned A-2 and referenced variable uses. MOTION: [Petts/Crosby] To instruct the drafting of the ordinance for 9/28 review. VOICE VOTE: Motion carried.
 - c. Conditional Use Application, Jefferson County Sheriff, unaddressed Herron Court parcel (parcel ID 290-0813-0613-034, located directly south of 735 Herron Court). The applicant is requesting a conditional use permit to allow the existing tower height to be increased. A conditional use permit is required for a change in height for an existing communication tower. DISCUSSION: Crosby said the biggest complaint was about property upkeep. Quimby mentioned references to loss of property value. Sorenson and Lindert discuss detail related to an existing light pole, Lindert called rotted. Lindert said one or two 3-foot dishes would be part of the new proposal. Lindert said the County had a civil engineering consultant hired this time, suggested a better product. MOTION: [Crosby/Petts] To table the matter to 9/28 and ask the County to resubmit after hearing those at the public hearing. VOICE VOTE: Motion carried.
 - d. Conditional Use Application, Adam Fitzgerald, 217 Maple Drive. The applicant requests a conditional use permit to allow for an additional garage. A conditional use permit is required for a Residential District (R-1) property when an additional garage or accessory building exceeds 144 square feet. MOTION: [Petts/Lannoy] to recommend Council approval of the application as submitted. VOICE VOTE: Motion carried.
6. FUTURE AGENDA ITEMS & ANNOUNCEMENTS
 - a. Zoning Maps & Planning Map Updates. Noted.
 - b. Mayor Quimby inquired about the 200 foot radius notification criteria. Petts said the municipality could direct various criteria based on the application. Hansen said he would do research.
7. ADJOURNMENT. MOTION: [Petts/Crosby] To adjourn. Approximate time: 9:20 p.m.



Mo Hansen, Clerk/Treasurer

Report To The Plan Commission
Open Code Enforcement Challenges

Clerk/Treasurer
12:40 PM 9/22/2021

Category	Open Date	Closed Date	Address	Responsible Party	Municipal Lead	Desired Outcome	Link To Ord.	Notes
OPEN Neighbor complaints	Jan-15		362 E. Madison St.	Jeremy Uttech	SAFEBUILT	Property owner maintaining clean property; no dangerous work garage	§219-5 Safe and sanitary maintenance of property	Pending action (C.B. verbal) Continue to watch. A residential property formerly zoned commercial; owner has a history of storing scrap on site and selling items on lawn. Repeated combustion incidents in garage.
OPEN Code compliance	Jan-16		129 N Monroe St	Keri Sellnow	SAFEBUILT	Complete 1st floor build-out to code per conditional use	§140-19 Violations and penalties	Owner in violation C.B. 2021 QTR 1 communication. Owner granted conditional use to reside on a portion of 1st floor; has not complied with building code with shared commercial & residential floor
OPEN Code compliance	Jan-16		213 West Madison St	Bill Hart	TBD	Use in compliance with zoning code	§385-12 C-1 General Commercial District	J.Q. to address. Use changed from printing to warehousing, no conditional use granted therefore an illegal use
OPEN Neighbor complaints	Jun-17		136 Jefferson Street	Jon & Tara Driver	DPW	Appropriate use of sump pump not creating potential pedestrian slip hazard	§283-8 Clear waters	Scheduled for 2022 road reconstruction. Remedy linked to when road is redone. Discharge of sump pump to curb line doesn't flow to storm sewer creating pedestrian walk hazard near elementary school
OPEN Neighbor complaints	Jun-17		135 Jefferson St	Corey Besl	DPW	Appropriate use of sump pump not creating potential pedestrian slip hazard	§283-8 Clear waters	Scheduled for 2022 road reconstruction. Remedy linked to when road is redone.. Discharge of sump pump to curb line doesn't flow to storm sewer creating pedestrian walk hazard near elementary school
OPEN Property Maintenance	Jun-17		275 S. Jackson St	Tired Iron Buyer LLC	SAFEBUILT	Property owner investment in warehouse repairs after sale of property from City to property owners <u>and no blight</u>	§219-5 Safe and sanitary maintenance of property	C.B. to follow-up. Door repaired wall repair in progress; 11/6 neighbor files complaint of trash, property owner contacted, property owner replies matter being addressed

Report To The Plan Commission
Open Code Enforcement Challenges

Clerk/Treasurer
12:40 PM 9/22/2021

OPEN Property maintenance	Sep-19		1085 Jaystone Terr	KSA Waterloo LLC; Ben Waterloo LLCLS DR	SAFEBUILT	Resident complaint: entry threshold prevents wheel chairs and dryer vent may be fire hazarded; 9/3 Routed to Chris B to inspect	§ 219-5 Safe and sanitary maintenance of property	C.B. has made contact. No reply from owner.
OPEN Property Maintenance	Jun-20		261 S MONROE ST	ANDREW V GRUNEWALD	SAFEBUILT	No blighting conditions	§ 219-5 Safe and sanitary maintenance of property	Improvement since letter sent. Not 100% Follow-up pending.
OPEN Property Maintenance	May-20		208 PORTLAND RD	GORDON D YELK & DEBRA A YELK	SAFEBUILT	Remedy collapses garage. No blighting conditions	§ 219-5 Safe and sanitary maintenance of property	Improvement since letter sent. Garage and car removed, adjacent blight not removed. Follow-up pending.
OPEN Property Maintenance	Sep-21		Not provided	Not provided	SAFEBUILT			Complaint directed to Mayor & routed to Building Inspector

DRAFT ORDINANCE CHANGE PERTAINING TO §385-18 AGRICULTURAL DISTRICTS

The following Code does not display images or complicated formatting. Codes should be viewed online. This tool is only meant for editing.

§ 385-18 A Agricultural District.

The A Agricultural District provides exclusively for agricultural uses. The intent is to help conserve good farming areas and prevent uncontrolled, uneconomical spread of residential development which results in excessive costs to the community for premature provision of essential public improvements and services.

A. Permitted uses.

- (1) Churches, schools, parks and municipal buildings.
- (2) Farming.
- (3) In-season roadside stands for the sale of farm products produced on the premises.
- (4) Water storage and sewage disposal plants and power stations, when surrounded by an eight-foot or more woven fence.
- (5) Nurseries, greenhouses and other agricultural uses.
- (6) Uses customarily incident to any of the above uses, including residential uses incident to any of the above uses.

B. Conditional uses. See also § **385-21** of this chapter.

- (1) Fur farms.
- (2) Kennels.
- (3) Farm machinery repair businesses including welding and metal fabrication not exclusive to farming or agricultural implements.

C. Lot, yard and building requirements.

- (1) Lot frontage: minimum 200 feet.
- (2) Lot area: minimum five acres.
- (3) Residence:
 - (a) Yard and building requirements: same as R-1 District.
 - (4) Farm buildings:
 - (a) Front yard: minimum 300 feet.
 - (b) Side yards: minimum 300 feet.

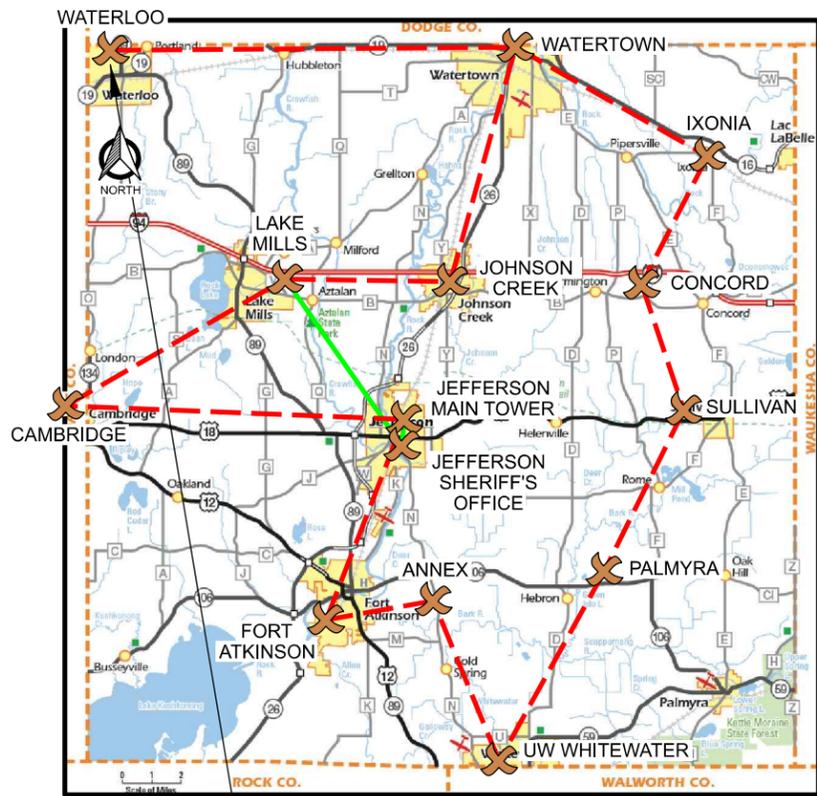
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(c) Rear yard: minimum 300 feet.

(d) Building height: maximum 50 feet.

D. Off-street parking and loading. (See § 385-23.) [Amended 3-15-2007 by Ord. No. 2007-05]



SITE LOCATION



WATERLOO (27651) WATERLOO, WISCONSIN 80' FREE STANDING TOWER

PROJECT DIRECTORY

ENGINEERING COMPANY:
EDGE CONSULTING ENGINEERS, INC.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
CONTACT: ARLEN OSTRENG
PHONE: (608) 644-1449

OWNER
JEFFERSON COUNTY SHERIFF'S OFFICE
411 S CENTER AVE.
JEFFERSON, WI 53549-1703
CONTACT: (920) 674-7346
NAME: TODD LINDERT

TECHNOLOGY CONSULTANT:
TRUE NORTH CONSULTING GROUP
140 3RD STREET SOUTH
STILLWATER, MN 55082
CONTACT: (651) 705-1255
NAME: JOHN THOMPSON

RADIO SYSTEM VENDOR:
GENERAL COMMUNICATIONS
2880 COMMERCE PARK DR.
MADISON, WI 53719
CONTACT: (608) 271-4848
NAME: CHAD TOMASZEWSKI

ELECTRICAL SERVICE PROVIDER:
WATERLOO UTILITIES
575 COMMERCIAL AVE
WATERLOO, WI 53594
CONTACT: (920) 478-2260

PROJECT INFO

SITE ADDRESS:
HERRON CT (END OF COURT)
WATERLOO, WI 53594

PROPERTY OWNER(S):
JEFFERSON COUNTY
311 S CENTER AVE
JEFFERSON, WI 53549

CITY OF WATERLOO
WATER & LIGHT COMMISSION
136 N MONROE ST
WATERLOO, WI 53594

TOWER OWNER:
JEFFERSON COUNTY
311 S CENTER AVE
JEFFERSON, WI 53549

TOWER COORDINATES (PER EDGE SURVEY):
LAT (NAD83/2011): 43°-11'-27" N (43.190833)
LONG (NAD83/2011): 88°-59'-53" W (-88.998056)
GROUND ELEVATION (NAVD 88): 938.1'
ASR NUMBER: NA

PLSS INFORMATION
PART OF SW 1/4 OF THE NE 1/4
SECTION 06, T8N, R13W
CITY OF WATERLOO
JEFFERSON COUNTY
WISCONSIN

PARCEL ID(S): 290-0813-0613-034
290-0813-0613-001

ZONING CLASSIFICATION(S): ???

SHEET INDEX

NO.:	SHEET TITLE
G-001	TITLE SHEET
1-2	*PLAT OF SURVEY
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C-102	ENLARGED SITE PLAN
C-103	DEMOLITION PLAN
C-104	COMPOUND PLAN
C-105	GRADING & EROSION CONTROL PLAN
C-501	SITE DETAILS
C-502	FENCE DETAILS
C-503	SHELTER FOUNDATION DETAILS
C-504	GENERATOR FUEL SYSTEM DETAILS
C-505	GRADING & EROSION CONTROL DETAILS
A-101	SHELTER FLOOR PLAN
A-102	SHELTER CEILING PLAN
A-201	SHELTER ELEVATIONS: EXTERIOR
A-202	SHELTER ELEVATIONS: INTERIOR
A-301	SHELTER DETAILS
T-201	TOWER LOADING / ELEVATION
T-501	TRANSMISSION LINE INSTALLATION DETAILS
T-502	ICE BRIDGE DETAILS
T-503	ANTENNA INSTALLATION DETAILS
E-101	GROUNDING PLAN
E-102	UTILITY PLAN
E-103	SHELTER GROUNDING PLAN
E-104	SHELTER ELECTRICAL PLAN
E-501	GROUNDING DETAILS
E-502	GROUNDING DETAILS
E-503	GROUNDING DETAILS
E-504	UTILITY DETAILS
E-505	UTILITY RACK DETAILS

*BY OTHERS

CONSULTANT:
Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com



TITLE SHEET
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	G-001

ONE CALL
SYSTEMS INTERNATIONAL

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN, CALL DIGGERS HOTLINE

TOLL FREE: 1-800-242-8511
FAX A LOCATE: 1-800-242-5811

WI STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

ENGINEER SEAL:

I HEREBY CERTIFY THAT THIS PLAN SET WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION OTHER THAN THE EXCEPTIONS NOTED IN THE SHEET INDEX, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF WISCONSIN.

SIGNATURE: _____

DATE: _____

N:\276002\27651\Design\CAD\CBS2\Plan\G-001.dgn

Parcel 1

A part of the Southwest Quarter (SW1/4) of the Northeast Quarter (NE1/4) of Section Six (6), Township Eight (8) North, Range Thirteen (13) East; City of Waterloo, Jefferson County, Wisconsin containing 7,120 square feet (0.163 acres) of land and being described by:

Commencing at the East Quarter Corner of said Section 6; thence S87°-08'-47"W 1310.77 feet along the south line of the NE1/4 of said Section 6 to the southeast corner of Hiawatha Trail Addition to Indian Hills subdivision as recorded in Volume 10 on Page 61; thence S87°-15'-16"W 179.37 feet along the south line of said Hiawatha Trail Addition to Indian Hills; thence continue along said south line of said Hiawatha Trail Addition to Indian Hills S87°-27'-28"W 418.40 feet; thence S87°-27'-28"W 100.01 feet along the north line of Indian Hills subdivision as recorded as Document No. 666947 to the northeast corner of Outlot 6 of Indian Hills South subdivision as recorded as Document No. 755854 and the point of beginning; thence S87°-10'-40"W 65.90 feet along the north line of said Outlot 6; thence N01°-33'-56"W 120.22 feet to the southwest corner of Lot 22 of said Hiawatha Trail Addition to Indian Hills; thence S74°-51'-58"E 66.64 feet along the south line of said Lot 22; thence S02°-44'-57"E 99.65 feet to the point of beginning. Being subject to any and all easements and restrictions of record.

Parcel 2

A part of the Southwest Quarter (SW1/4) of the Northeast Quarter (NE1/4) of Section Six (6), Township Eight (8) North, Range Thirteen (13) East; City of Waterloo, Jefferson County, Wisconsin containing 9,980 square feet (0.229 acres) of land and being described by:

Commencing at the East Quarter Corner of said Section 6; thence S87°-08'-47"W 1310.77 feet along the south line of the NE1/4 of said Section 6 to the southeast corner of Hiawatha Trail Addition to Indian Hills subdivision as recorded in Volume 10 on Page 61; thence S87°-15'-16"W 179.37 feet along the south line of said Hiawatha Trail Addition to Indian Hills; thence continue along said south line of said Hiawatha Trail Addition to Indian Hills S87°-27'-28"W 418.40 feet to the point of beginning; thence S87°-27'-28"W 100.01 feet along the north line of Indian Hills subdivision as recorded as Document No. 666947; thence N02°-44'-57"W 99.65 feet to a point on the south line of Lot 22 of said Hiawatha Trail Addition to Indian Hills; thence N87°-16'-10"E 99.96 feet along said south line of Lot 22 and its easterly extension to a point on the northerly extension of the west line of Lot 23 of said Hiawatha Trail Addition to Indian Hills; thence S02°-46'-27"E 99.98 feet along said west line of Lot 23 and its northerly extension to the point of beginning. Being subject to any and all easements and restrictions of record.

Parcel 3

All of Outlot 1 of Hiawatha Trail Addition to Indian Hills subdivision as recorded in Volume 10 on Page 61. Being located in Southwest Quarter (SW1/4) of the Northeast Quarter (NE1/4) of Section Six (6), Township Eight (8) North, Range Thirteen (13) East; City of Waterloo, Jefferson County, Wisconsin.

Survey Notes:

Lands contained in this survey are wholly located in the following parcels:

Parcel No. 290-0813-0613-034

- Owner of Record: Jefferson County
- Deed: Document No. 1385943

Parcel No. 290-0813-0613-001

- Owner of Record: City of Waterloo Water & Light Commission
- Deed: Document No. 665025

Parcel No. 290-0813-0613-032

- Owner of Record: City of Waterloo
- Deed: Document No. 876925

PLAT OF SURVEY

BEING A PART OF THE SW1/4 OF THE NE1/4, SECTION 6, T.8N., R.13E., CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN



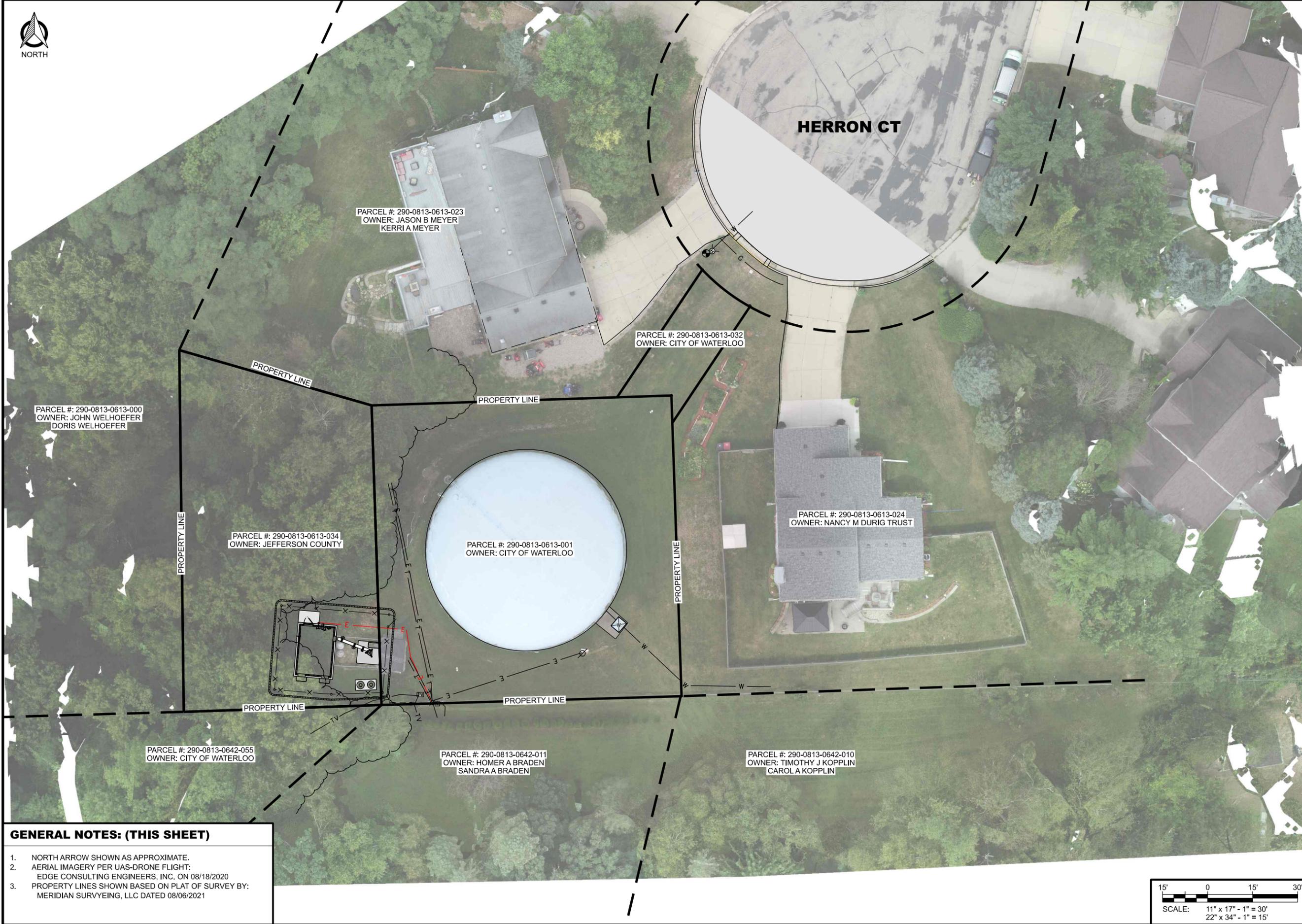
MERIDIAN SURVEYING, LLC N9637 Friendship Drive Kaukauna, WI 54130 Office: 920-993-0881 Fax: 920-273-6037	DRAWN BY: J.B. CHECKED BY: C.A.K.	FIELD WORK DATE: 7-30-21 FIELD BOOK: X SHEET 2 OF 2	SURVEYED FOR: EDGE CONSULTING ENGINEERS, INC. 624 WATER STREET PRAIRIE DU SAC, WI 53578
	JOB NO.: 13029		



CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53578
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com



CLIENT:
OVERALL SITE PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN



PARCEL #: 290-0813-0613-000
 OWNER: JOHN WELHOEFER
 DORIS WELHOEFER

PARCEL #: 290-0813-0613-023
 OWNER: JASON B MEYER
 KERRI A MEYER

PARCEL #: 290-0813-0613-032
 OWNER: CITY OF WATERLOO

PARCEL #: 290-0813-0613-034
 OWNER: JEFFERSON COUNTY

PARCEL #: 290-0813-0613-001
 OWNER: CITY OF WATERLOO

PARCEL #: 290-0813-0613-024
 OWNER: NANCY M DURIG TRUST

PARCEL #: 290-0813-0642-055
 OWNER: CITY OF WATERLOO

PARCEL #: 290-0813-0642-011
 OWNER: HOMER A BRADEN
 SANDRA A BRADEN

PARCEL #: 290-0813-0642-010
 OWNER: TIMOTHY J KOPPLIN
 CAROL A KOPPLIN

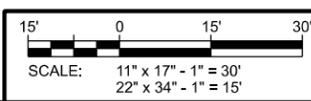
GENERAL NOTES: (THIS SHEET)

- NORTH ARROW SHOWN AS APPROXIMATE.
- AERIAL IMAGERY PER UAS-DRONE FLIGHT:
 EDGE CONSULTING ENGINEERS, INC. ON 08/18/2020
- PROPERTY LINES SHOWN BASED ON PLAT OF SURVEY BY:
 MERIDIAN SURVEYING, LLC DATED 08/06/2021

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	C-101



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KEYNOTES: (THIS SHEET)

- A. 12' WIDE ACCESS EASEMENT
- B. CURB CUT, MATCH INTO EXISTING FLOW LINE



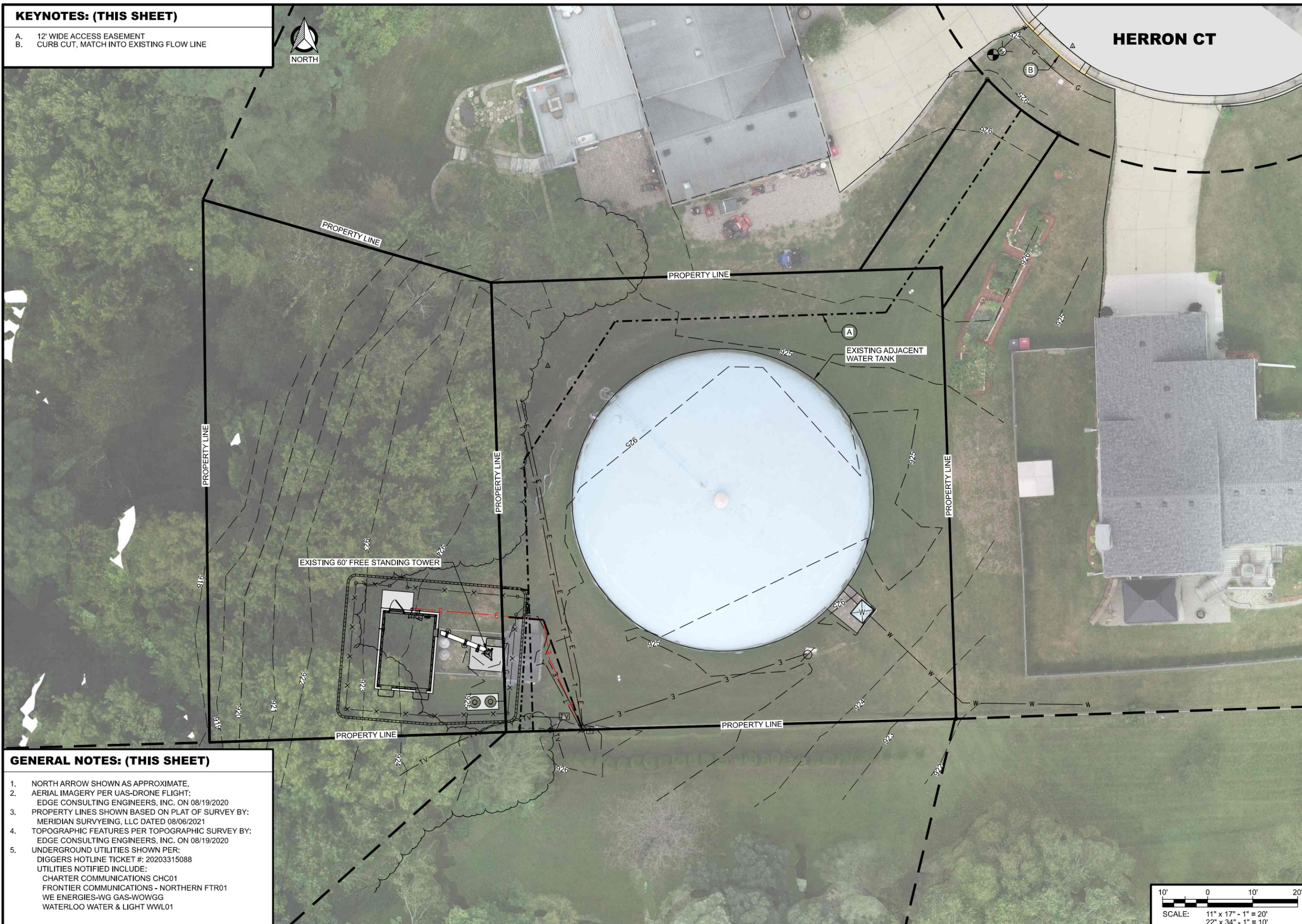
CONSULTANT:

Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
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CLIENT:



**ENLARGED SITE PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN**



GENERAL NOTES: (THIS SHEET)

1. NORTH ARROW SHOWN AS APPROXIMATE.
2. AERIAL IMAGERY PER UAS-DRONE FLIGHT: EDGE CONSULTING ENGINEERS, INC. ON 08/19/2020
3. PROPERTY LINES SHOWN BASED ON PLAT OF SURVEY BY: MERIDIAN SURVYEING, LLC DATED 08/06/2021
4. TOPOGRAPHIC FEATURES PER TOPOGRAPHIC SURVEY BY: EDGE CONSULTING ENGINEERS, INC. ON 08/19/2020
5. UNDERGROUND UTILITIES SHOWN PER:
DIGGERS HOTLINE TICKET #: 20203315088
UTILITIES NOTIFIED INCLUDE:
CHARTER COMMUNICATIONS CHC01
FRONTIER COMMUNICATIONS - NORTHERN FTR01
WE ENERGIES-WG GAS-WOWGG
WATERLOO WATER & LIGHT WWL01

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

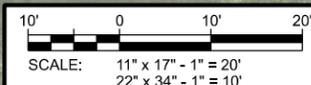
CHECKED BY: AJO

PLOT DATE: 9/9/2021

PROJECT NUMBER: 27651

SET TYPE: CB2

SHEET NUMBER: **C-102**



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KEYNOTES: (THIS SHEET)

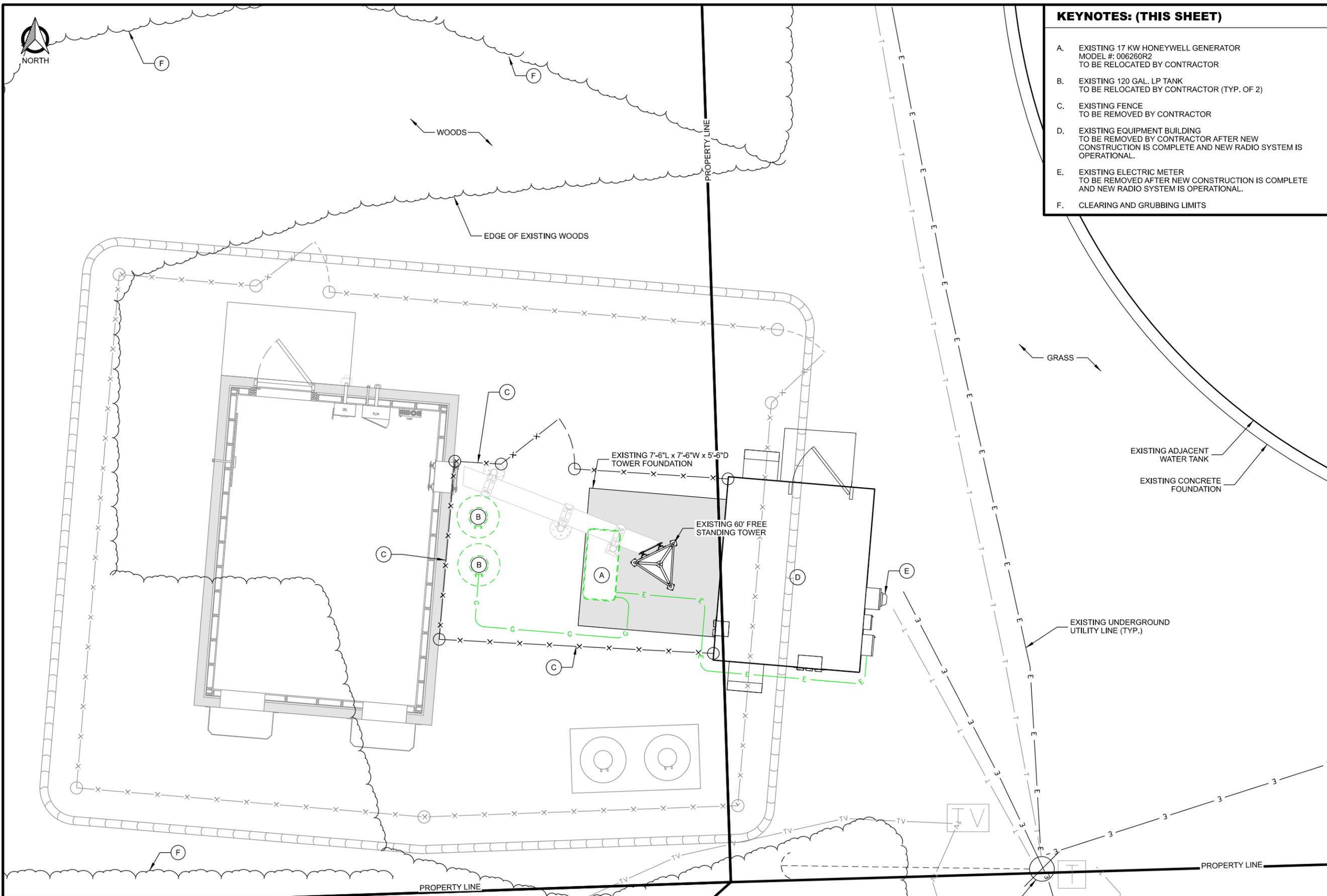
- A. EXISTING 17 KW HONEYWELL GENERATOR MODEL #: 006260R2 TO BE RELOCATED BY CONTRACTOR
- B. EXISTING 120 GAL. LP TANK TO BE RELOCATED BY CONTRACTOR (TYP. OF 2)
- C. EXISTING FENCE TO BE REMOVED BY CONTRACTOR
- D. EXISTING EQUIPMENT BUILDING TO BE REMOVED AFTER NEW CONSTRUCTION IS COMPLETE AND NEW RADIO SYSTEM IS OPERATIONAL.
- E. EXISTING ELECTRIC METER TO BE REMOVED AFTER NEW CONSTRUCTION IS COMPLETE AND NEW RADIO SYSTEM IS OPERATIONAL.
- F. CLEARING AND GRUBBING LIMITS

CONSULTANT:

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**DEMOLITION PLAN
 WATERLOO (27651)
 WATERLOO, WISCONSIN**



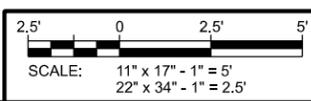
GENERAL NOTES: (THIS SHEET)

1. NORTH ARROW SHOWN AS APPROXIMATE.

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	C-103



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KEYNOTES: (THIS SHEET)

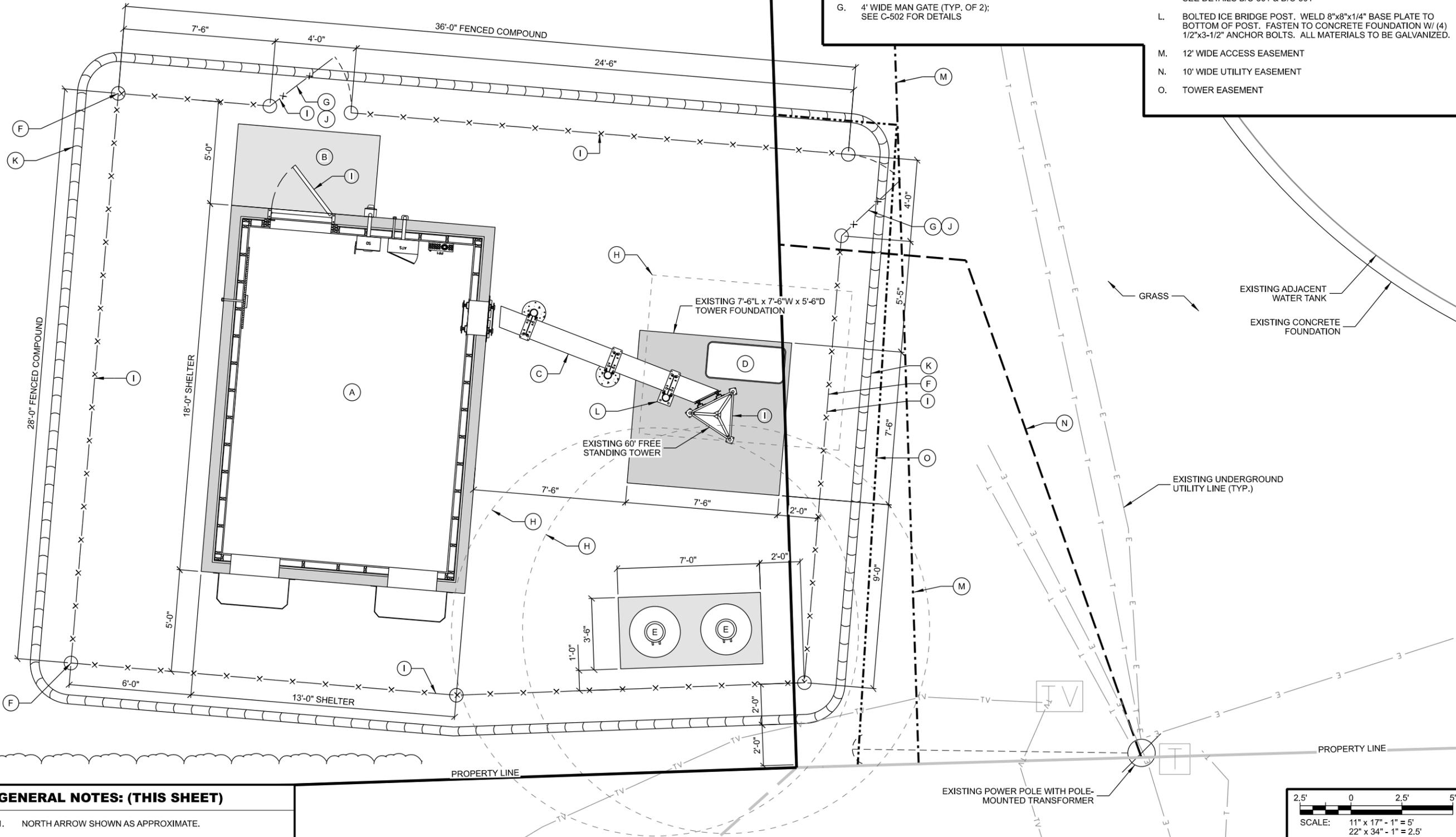
- A. JEFFERSON COUNTY EQUIPMENT SHELTER; SEE A-101 FOR DETAILS
- B. 4' x 7' CONCRETE STOOP; SEE C-503 FOR DETAILS
- C. 12" WIDE ICE BRIDGE; SEE T-502 FOR DETAILS
- D. RELOCATED 17 KW HONEYWELL GENERATOR MODEL #: 006260R2, 120/240V, 141.7/70.8 A
- E. RELOCATED 120 GAL. LP TANK ON NEW 3'-6" x 7'-0" CONCRETE PAD (TYP. OF 2)
- F. COMPOUND FENCE; SEE C-502 FOR DETAILS
- G. 4' WIDE MAN GATE (TYP. OF 2); SEE C-502 FOR DETAILS
- H. CLEARANCE ZONE/SETBACKS:
 - 10' AROUND LP TANK(S)
 - 3' AROUND GENERATOR
- I. SIGNAGE:
 - (0) ASR. INSTALL ON VEHICLE GATE.
 - (1) SITE IDENTIFICATION. INSTALL ON SHELTER DOOR.
 - (4) RF NOTICE. INSTALL ON EACH SIDE OF FENCE.
 - (2) RF CAUTION. INSTALL ON SHELTER DOOR AND TOWER
 - (1) OSHA DANGER. INSTALL ON VEHICLE GATE.
 - (1) NFPA LP FUEL. INSTALL ON VEHICLE GATE
- J. GATE LOCKS (2) PADLOCKS BY CONTRACTOR, (1) EACH GATE
- K. GRAVEL COMPOUND W/ PERIMETER LANDSCAPE PAVER EDGING; SEE DETAILS B/C-501 & D/C-501
- L. BOLTED ICE BRIDGE POST. WELD 8"x8"x1/4" BASE PLATE TO BOTTOM OF POST. FASTEN TO CONCRETE FOUNDATION W/ (4) 1/2"x3-1/2" ANCHOR BOLTS. ALL MATERIALS TO BE GALVANIZED.
- M. 12' WIDE ACCESS EASEMENT
- N. 10' WIDE UTILITY EASEMENT
- O. TOWER EASEMENT

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**COMPOUND PLAN
 WATERLOO (27651)
 WATERLOO, WISCONSIN**



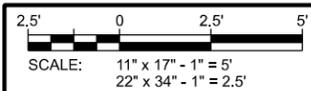
GENERAL NOTES: (THIS SHEET)

- 1. NORTH ARROW SHOWN AS APPROXIMATE.

SUBMITTAL:

INT.	DATE	DESCRIPTION

CHECKED BY	AJO
PLOT DATE	9/9/2021
PROJECT NUMBER	27651
SET TYPE	CB2
SHEET NUMBER	C-104



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GRADING NOTES: (THIS SHEET)

1. CONTOUR INTERVAL IS 1 FOOT.
2. PERIMETER CONTROLS AND STONE TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING OPERATIONS. STONE TRACKING PAD SHALL BE A 12'X50' MIN. CONSISTING OF 3" BREAKER STONE.
3. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES, BEYOND THOSE SHOWN IN THIS PLAN, SUITABLE FOR THEIR MEANS AND METHODS TO KEEP ALL SEDIMENT ON SITE DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES IMPLEMENTATION OF SILT FENCE, EROSION BALES, TRACKING PADS, DIVERSION BERMS AND/OR OTHER APPROPRIATE DEVICES.
4. CONTRACTOR SHALL GRADUALLY MATCH INTO EXISTING GRADE. NO PROPOSED EARTHWORK SHALL HAVE A GREATER SLOPE THAN 3:1. FINISHED SITE TO BE GRADED TO MAINTAIN POSITIVE DRAINAGE IN ALL AREAS.
5. DRIVEWAY GRADE WITHIN 25 FEET OF PUBLIC ROAD ACCESS POINT SHALL BE LESS THAN 10% (10:1).
6. FINISHED GRADE SLOPES GREATER THAN 10:1, DITCH BOTTOMS AND GRASS SURFACES WITHIN 6 FEET OF ANY PAVED OR GRAVEL SURFACE REQUIRE EROSION MAT (CLASS II, URBAN TYPE B)
7. ALL DISTURBED GRASS/TURF AREAS SHALL BE RESTORED WITH TOPSOIL, SEED AND MULCH. TOPSOIL TO BE 6-INCHES MINIMUM. SEED TO CONSIST OF NATIVE PURE LIVE SEED (PLS) AT 98% PURITY AND 95% GERMINATION. MULCH TO BE WEED-FREE GRAIN STRAW.
8. CONTRACTOR TO PERFORM MAINTENANCE AND INSPECTION OF EROSION CONTROL DEVICES AND EXPOSED GRADE THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES ON A WEEKLY BASIS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT 0.5 INCHES OR GREATER WHICH RESULTS IN RUNOFF. CONTRACTOR SHALL CONTINUE MAINTENANCE AND INSPECTION UNTIL FULL VEGETATION ESTABLISHMENT AND/OR PROJECT ACCEPTANCE.
9. CONTRACTOR TO REMOVE EROSION CONTROL MEASURES AFTER PROJECT ACCEPTANCE.

GENERAL NOTES: (THIS SHEET)

1. EXISTING SITE MAPPING DATA IS FROM TOPOGRAPHIC SURVEY PERFORMED BY EDGE CONSULTING ENGINEERS ON 19-08-2020.
2. CONTRACTOR IS RESPONSIBLE FOR EARTHWORK NECESSARY TO ACHIEVE DESIGN GRADES. THIS INCLUDES IMPORT OR EXPORT OF MATERIAL.

LEGEND: (THIS SHEET)

- EXISTING CONTOUR GRADES
- PROPOSED CONTOUR GRADES
- SPOT ELEVATIONS
P = PROPOSED ELEV.
E = EXISTING ELEV.
TOC = TOP OF CONC.
- PROPOSED DRAINAGE PATH
- SILT FENCE
- LIMITS OF DISTURBANCE
- EROSION MAT



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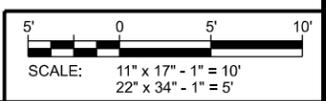


GRADING AND EROSION CONTROL PLAN WATERLOO (27651) WATERLOO, WISCONSIN

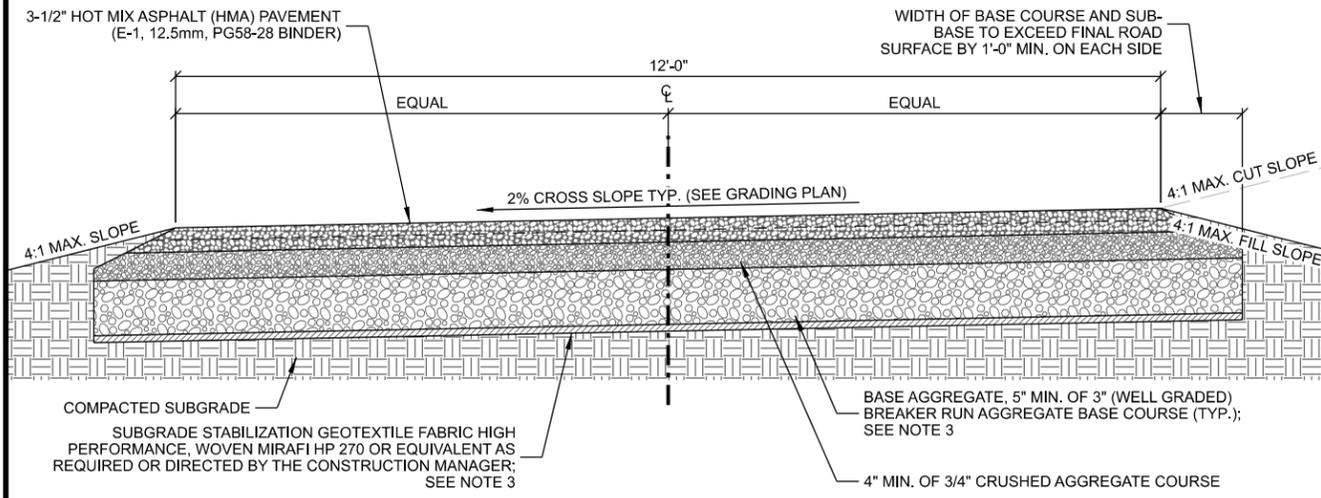
SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	C-105

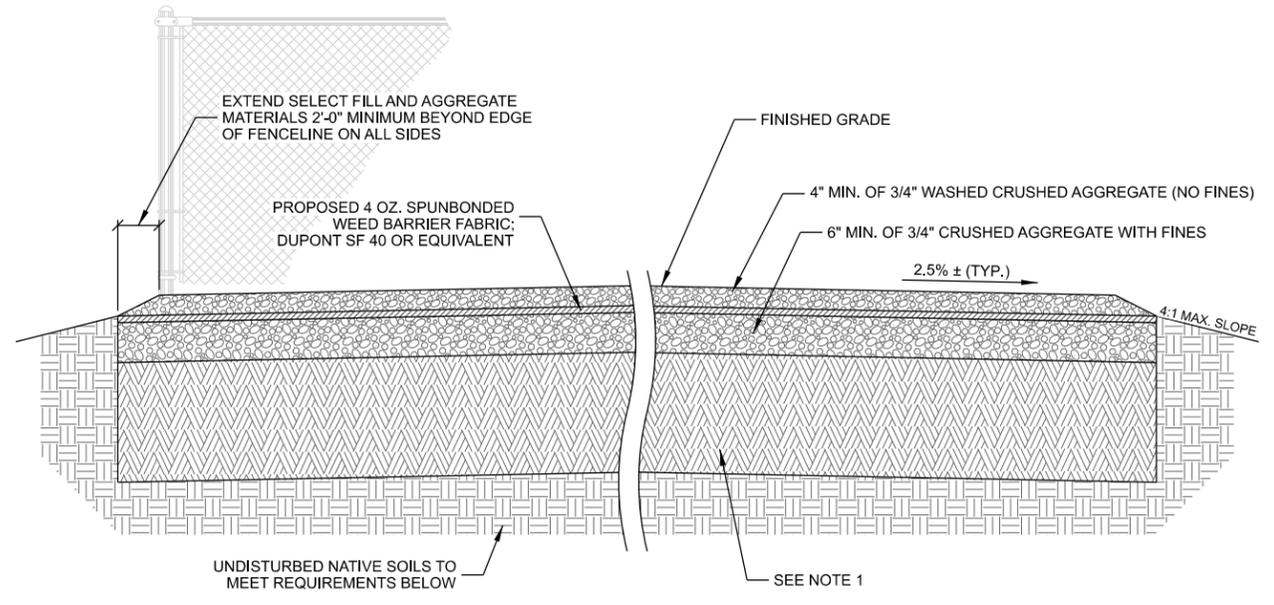


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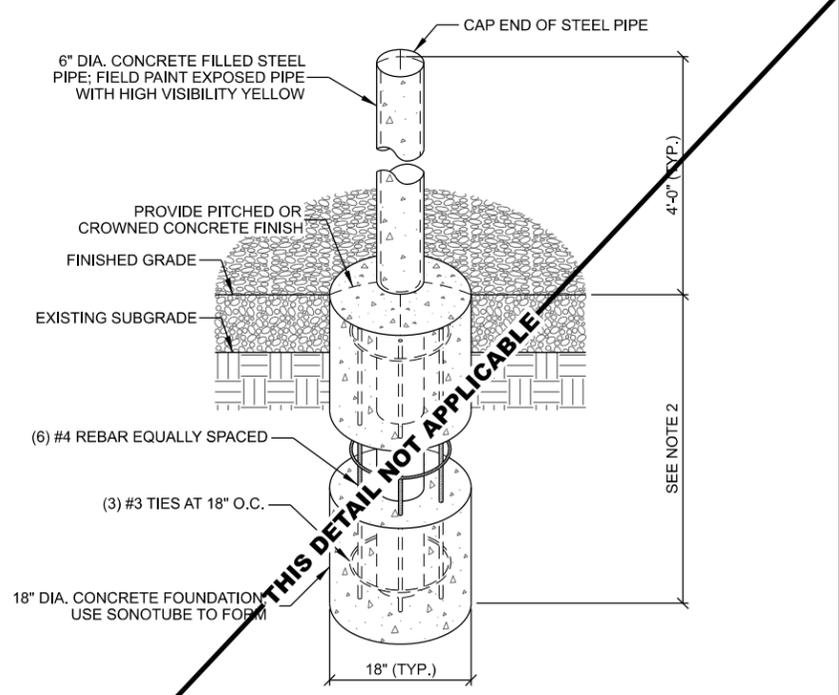
- GENERAL NOTES:**
1. REMOVE ALL TOPSOIL, ORGANIC MATERIAL AND WET OR POOR SOILS ALONG ACCESS DRIVE. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL. IF POOR SOILS ARE ENCOUNTERED AT A DEPTH OF MORE THAN 12", CONTACT CONSTRUCTION MANAGER FOR GUIDANCE. SUBGRADE TO BE COMPACTED TO 95% MODIFIED PROCTOR AND VERIFIED BY PROOF-ROLL WITH LOADED TRI-AXLE DUMP TRUCK. CONTACT CONSTRUCTION MANAGER FOR GUIDANCE FOR FAILING SUBGRADE SOILS.
 2. FAILING AREAS OF SUBGRADE SHALL BE UNDERCUT TO A MINIMUM DEPTH OF 18" BELOW FINISH AGGREGATE AND STABILIZED WITH 3" (WELL GRADED) BREAKER RUN AGGREGATE OVER SUBGRADE STABILIZATION GEOTEXTILE FABRIC.
 3. CONSULT GRADING PLAN OR SITE PLAN FOR FINAL SITE GRADES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASPHALT ACCESS DRIVE REPAIR AND RESTORATION FOLLOWING CONSTRUCTION COMPLETION. ANY DISTURBED OR DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL OR BETTER CONDITION UPON COMPLETION OF WORK.

A ASPHALT DRIVE CROSS SECTION



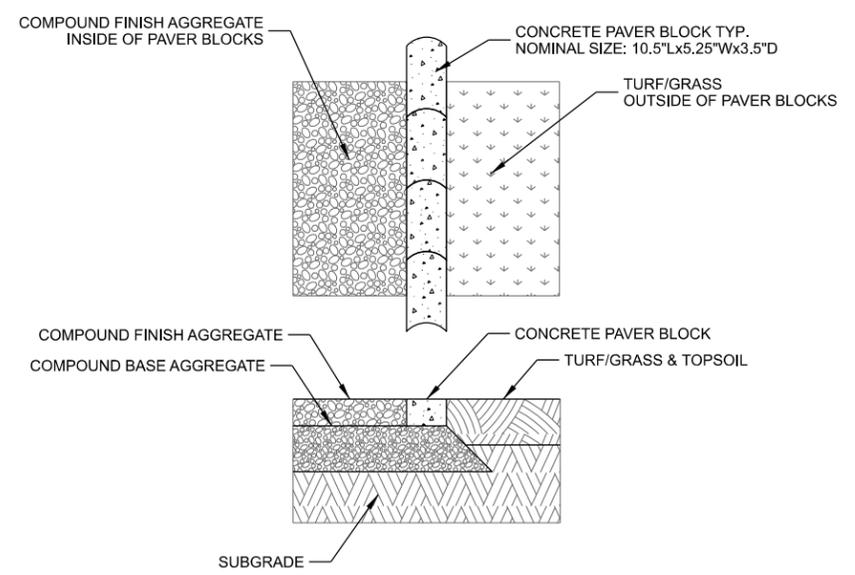
- NOTES:**
1. REMOVE ALL TOPSOIL, ORGANIC MATERIAL AND WET OR POOR SOILS WITHIN COMPOUND AREA. CONTRACTOR TO REVIEW SITE CONDITIONS AND CONSULT GEOTECHNICAL REPORT FOR ANTICIPATED DEPTH OF SOILS THAT WILL REQUIRE REMOVAL. IF POOR SOILS ARE ENCOUNTERED SELECT FILL MAY BE REQUIRED. CONTACT CONSTRUCTION MANAGER FOR GUIDANCE.
 2. FINAL TOWER FOUNDATION DESIGN RECOMMENDATIONS TO SUPERCEDE GRADING PLAN OR SITE PLAN ELEVATIONS.

B COMPOUND CROSS SECTION



- NOTES:**
1. MAINTAIN 3" MINIMUM REBAR COVER IN ALL DIRECTION
 2. PIER FOUNDATION DEPTH TO BE A MINIMUM OF 48"; DEPTH TO EXCEED LOCAL FROST DEPTH
 3. CONCRETE TO BE A MINIMUM OF 4,000 PSI AT 28 DAYS

C PIPE BOLLARD



- NOTES:**
1. PAVER BLOCK COLOR AND MATERIAL SELECTION TO BE APPROVED BY OWNER.

D LANDSCAPE PAVER BLOCK EDGE

THIS SPACE INTENTIONALLY LEFT BLANK

CONSULTANT:

Edge
Consulting Engineers, Inc.

624 WATER STREET
PRAIRIE DU SAC, WI 53578
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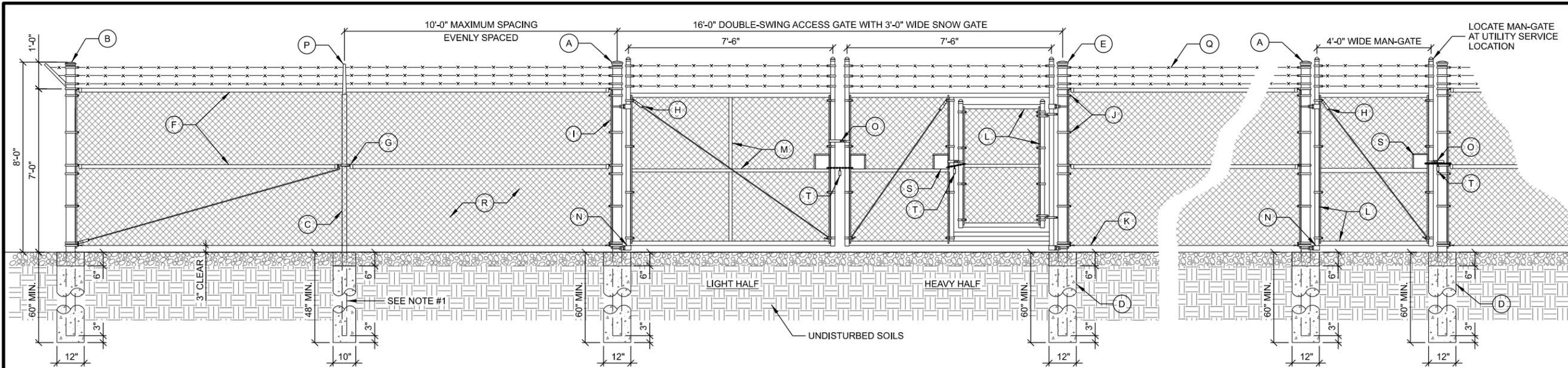


SITE DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE	DESCRIPTION:

CHECKED BY	AJO
PLOT DATE	9/9/2021
PROJECT NUMBER	27651
SET TYPE	CB2
SHEET NUMBER	C-501

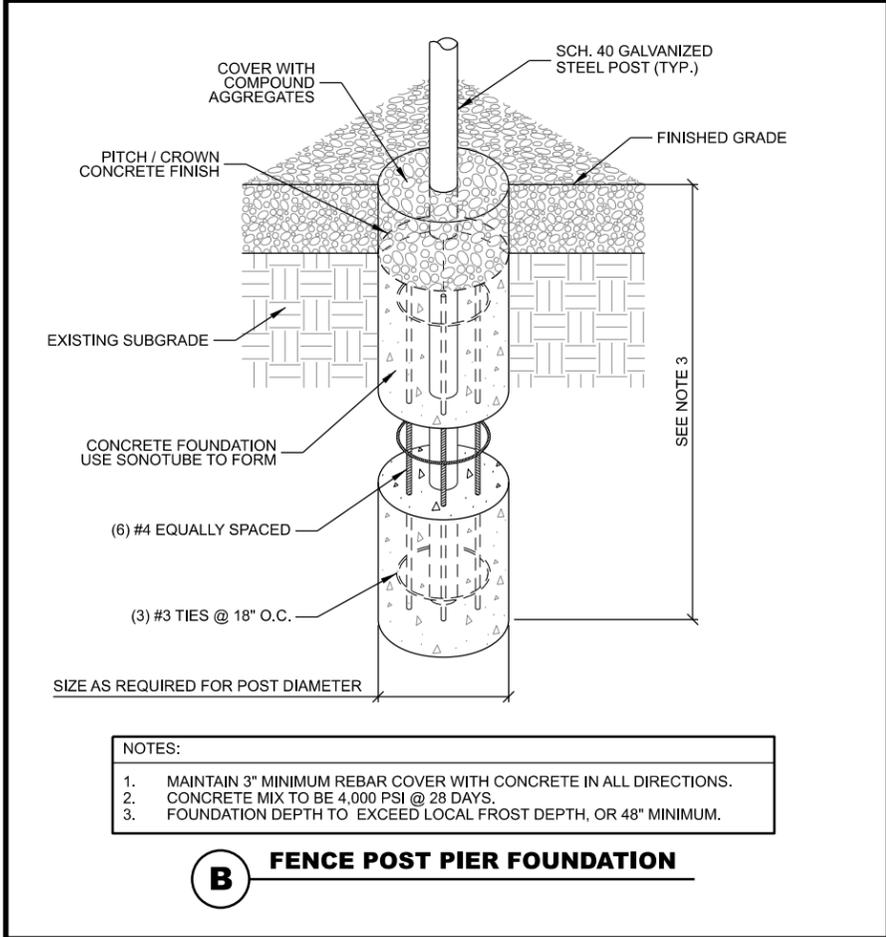


KEY NOTES: (THIS DETAIL)

- | | | |
|---|---|---|
| (A) 3-1/2" (4" O.D.) SCH. 40 GALV. STEEL GATE POST | (G) OFFSET BRACE RAIL ENDS FOR MID BRACE RAIL | (N) MALLEABLE BUTT HINGES (TYP.) |
| (B) 2-1/2" (2-7/8" O.D.) SCH. 40 GALV. STEEL CORNER POST | (H) 5/16" O.D. TRUSS ROD WITH TRUSS TIGHTENER ASSEMBLY | (O) GATE LATCH; VERIFY REQUIREMENTS WITH FENCE MANUFACTURER |
| (C) 2" (2-3/8" O.D.) SCH. 40 GALV. STEEL LINE POSTS; LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.; SEE NOTE #1 | (I) 3/16" x 3/4" STRETCHER BAR; TO EXTEND FULL HEIGHT OF FENCE FABRIC | (P) 45° BARB ARM FENCE POST CAP |
| (D) CONCRETE POST FOUNDATION; 12" DIA. AT GATE & CORNER POSTS, 10" DIA. AT LINE POSTS SEE DETAIL BELOW | (J) 3/4" TENSION BAND (TYP.) | (Q) (3) STRANDS OF 4 PT. GALV. BARB WIRE |
| (E) FENCE POST CAP (SIZE VARIES) | (K) TENSION WIRE (7 GAUGE) | (R) FENCE FABRIC; #9 GAUGE GALV. COATED, 2" DIAMOND PATTERN CHAIN LINK; TWISTED TOP SELVAGE AND KNUCKLED BOTTOM SELVAGE |
| (F) 1-1/4" (1.66" O.D.) TOP RAIL & MID BRACE RAIL PIPE | (L) 1-1/2" (1.9" O.D.) SCH. 40 GALV. STEEL FENCE GATE FRAME | (S) 6" x 6" HANDHOLE FOR CHAIN LOCK |
| | (M) 1-1/4" (1.66" O.D.) SCH. 40 GALV. STEEL HORIZONTAL AND VERTICAL GATE BRACES | (T) GATE LOCK |

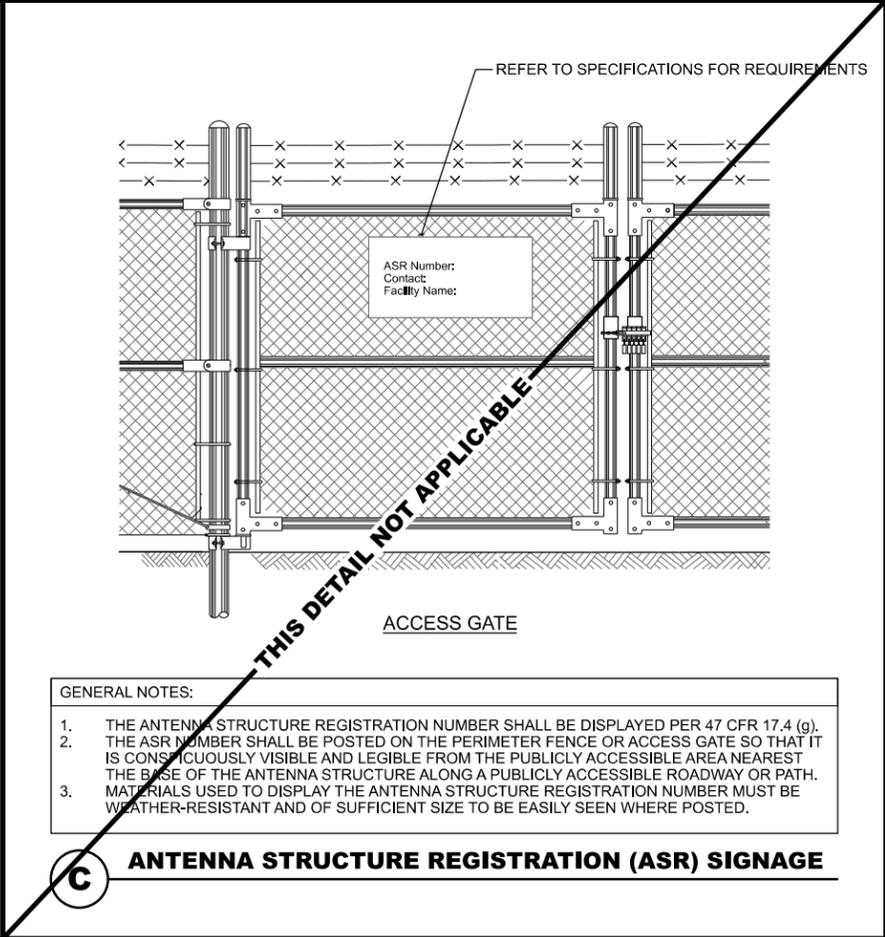
- NOTES:**
- ALL LINE POSTS MAY BE EITHER DRIVEN OR SET IN CONCRETE AT CONTRACTORS OPTION. SEE DETAIL FOR DEPTH AND FOOTING REQUIREMENTS. IF DRIVEN, DRIVE LINE POSTS TO 60" DEPTH MIN.
 - ALL FENCE POSTS AND FRAMING TO BE SCH. 40 GALVANIZED STEEL. SEE DETAIL FOR SIZES.

A COMPOUND FENCE



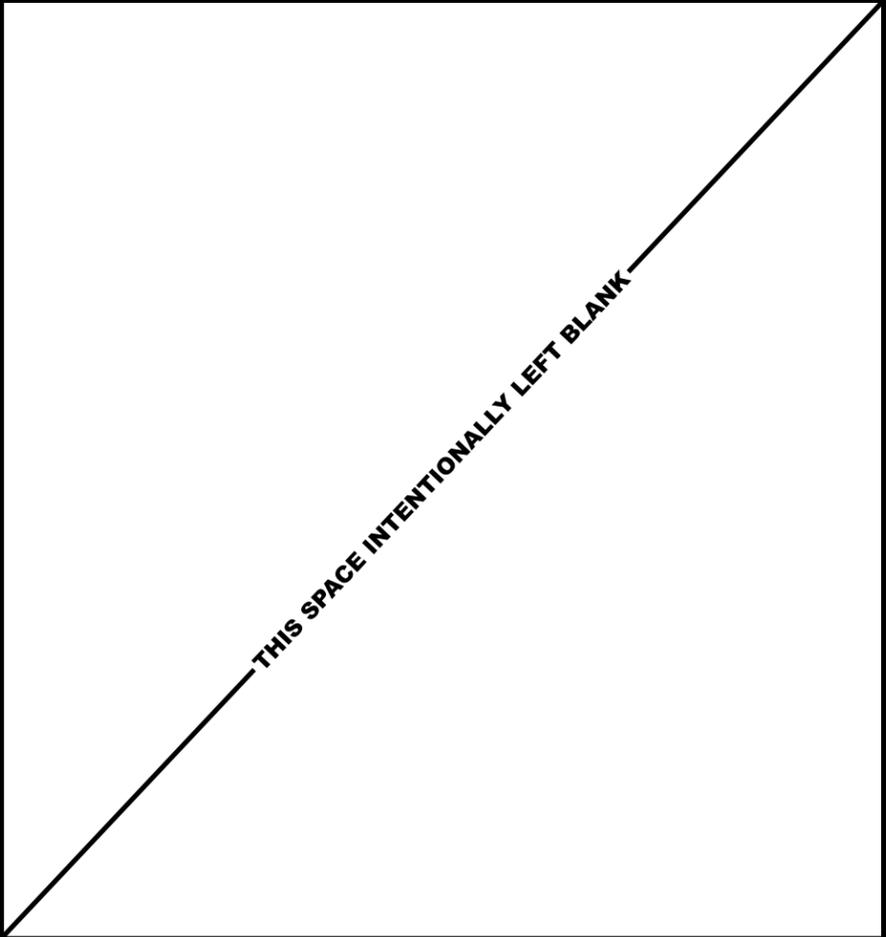
- NOTES:**
- MAINTAIN 3" MINIMUM REBAR COVER WITH CONCRETE IN ALL DIRECTIONS.
 - CONCRETE MIX TO BE 4,000 PSI @ 28 DAYS.
 - FOUNDATION DEPTH TO EXCEED LOCAL FROST DEPTH, OR 48" MINIMUM.

B FENCE POST PIER FOUNDATION



- GENERAL NOTES:**
- THE ANTENNA STRUCTURE REGISTRATION NUMBER SHALL BE DISPLAYED PER 47 CFR 17.4 (g). THE ASR NUMBER SHALL BE POSTED ON THE PERIMETER FENCE OR ACCESS GATE SO THAT IT IS CONSPICUOUSLY VISIBLE AND LEGIBLE FROM THE PUBLICLY ACCESSIBLE AREA NEAREST THE BASE OF THE ANTENNA STRUCTURE ALONG A PUBLICLY ACCESSIBLE ROADWAY OR PATH.
 - MATERIALS USED TO DISPLAY THE ANTENNA STRUCTURE REGISTRATION NUMBER MUST BE WEATHER-RESISTANT AND OF SUFFICIENT SIZE TO BE EASILY SEEN WHERE POSTED.

C ANTENNA STRUCTURE REGISTRATION (ASR) SIGNAGE



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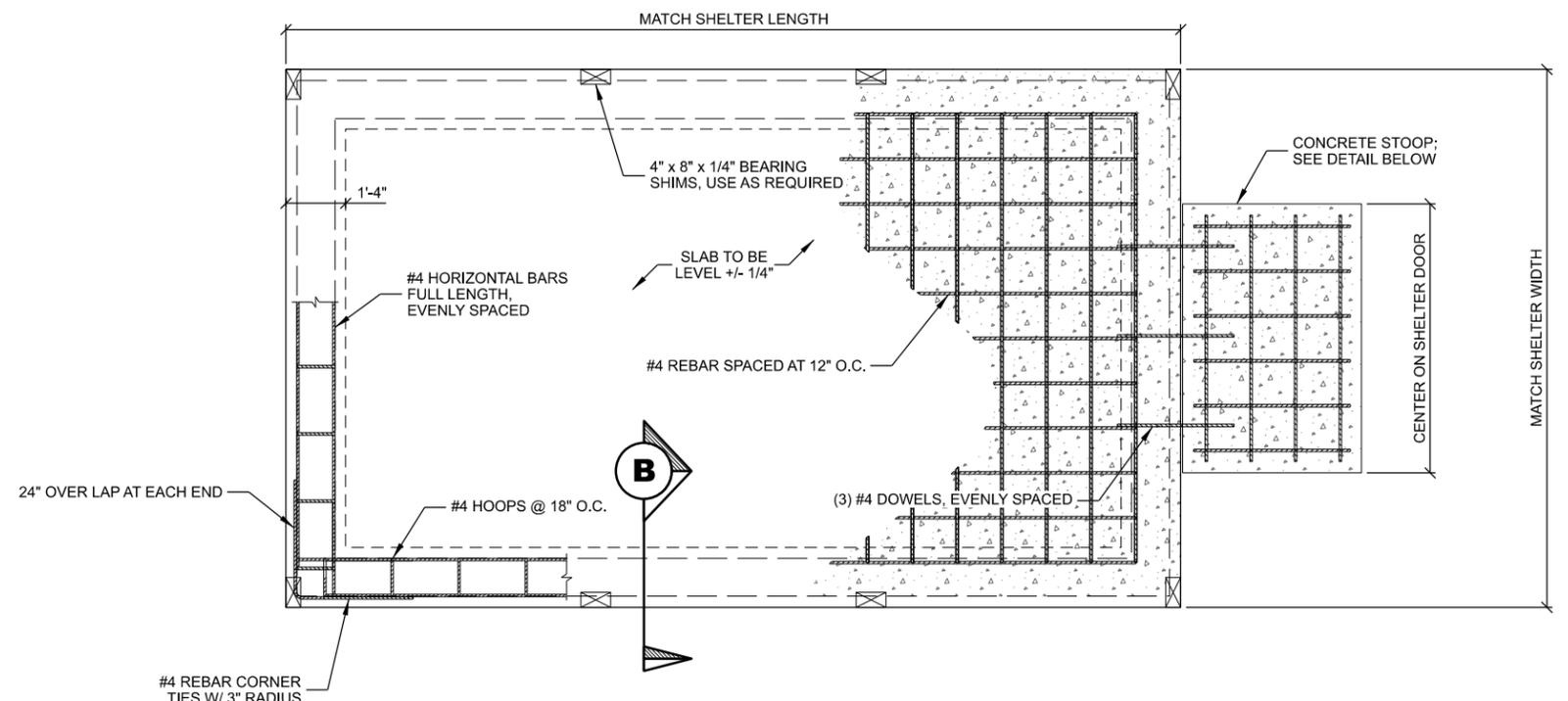
CLIENT:
FENCE DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

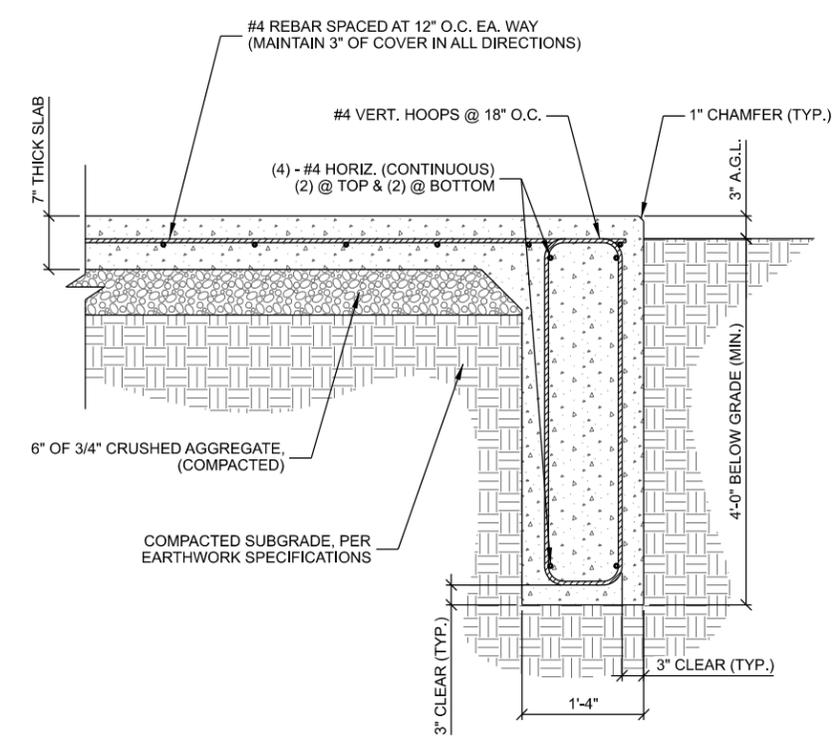
CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	C-502

SHELTER FOUNDATION DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

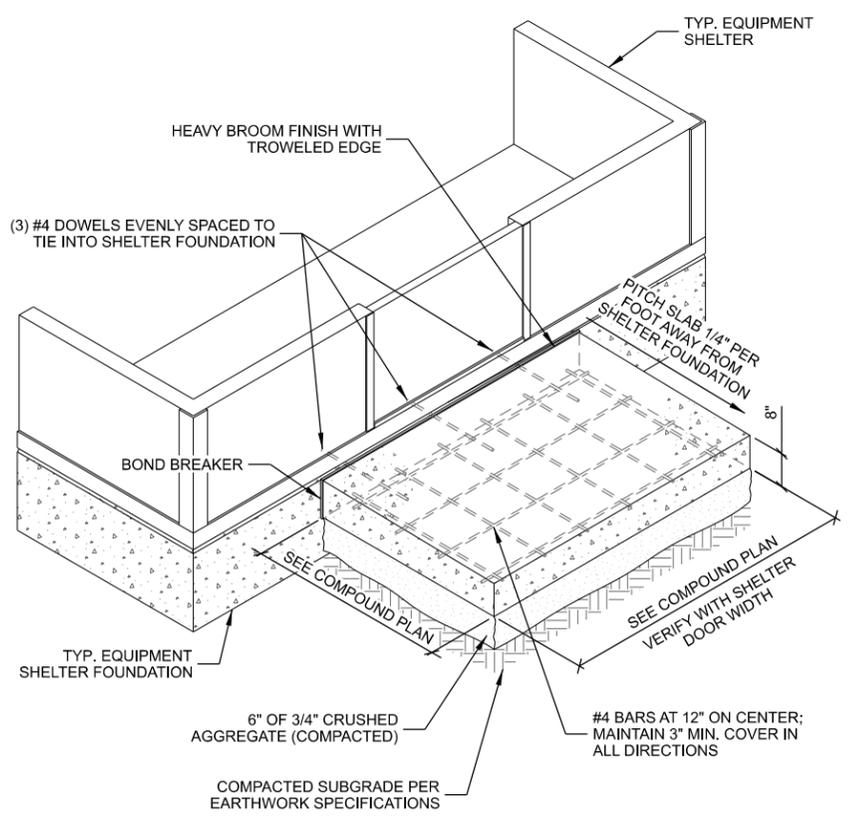


NOTES:
 1. BEARING SHIM: GALVANIZED STEEL, 4 EACH SIDE USE SHIMS AS REQUIRED TO ASSURE SHELTER IS BEARING AT PERIMETER.

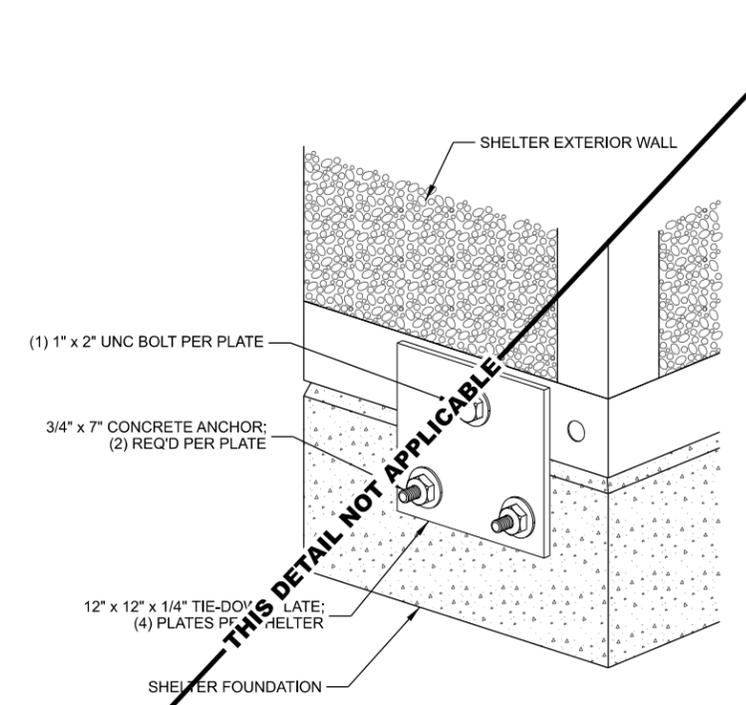
A SHELTER FOUNDATION PLAN
 SCALE: 11" x 17" - 1/4" = 1'-0"
 22" x 34" - 1/2" = 1'-0"



B SHELTER FOUNDATION
 SCALE: 11" x 17" - 1/2" = 1'-0"
 22" x 34" - 1" = 1'-0"



C SHELTER STOOP



D TIE DOWN PLATE

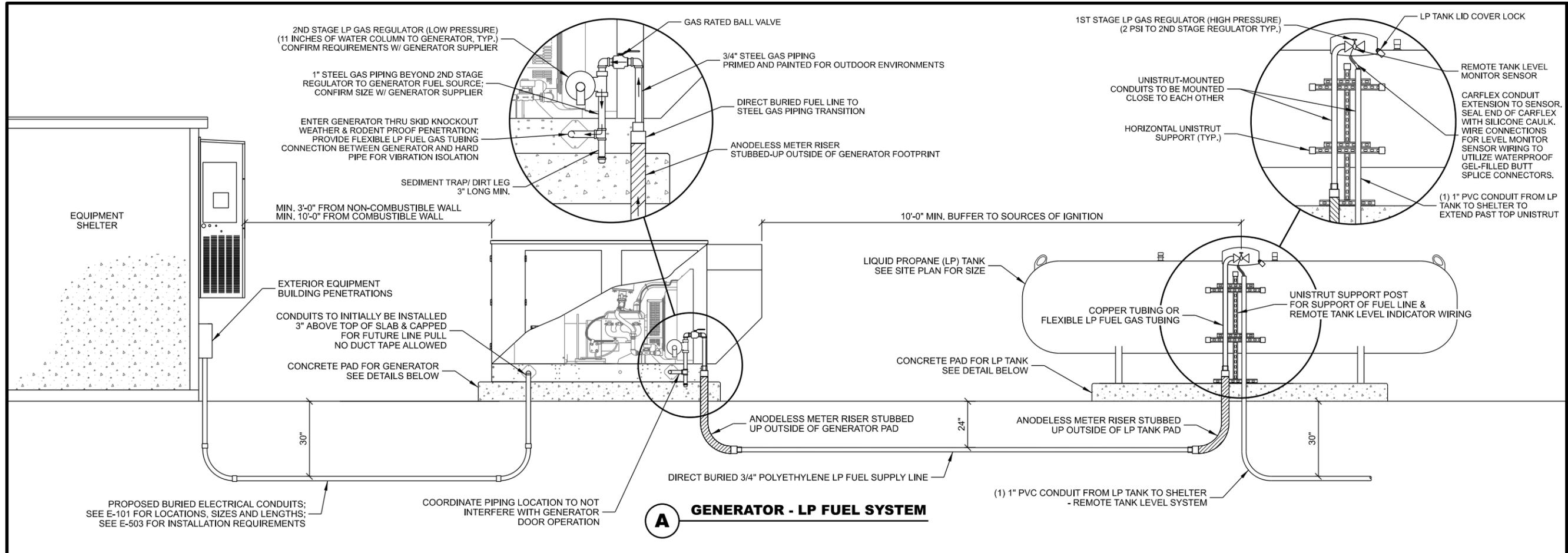
CONCRETE AND REINFORCING NOTES:

- ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODE REQUIREMENTS AND MOST CURRENT VERSION OF ACI STANDARDS.
- ALL CONCRETE UNLESS SPECIFICALLY NOTED SHALL BE NORMAL WEIGHT (145 PCF) AND SHALL ACHIEVE A 28-DAY COMPRESSIVE STRENGTH (f_c) OF 4,000 PSI. EXPOSED EXTERIOR CONCRETE TO BE AIR ENTRAINED WITH 6% +/- 1% AIR CONTENT. CONTRACTOR TO PERFORM CONCRETE SLUMP TEST (4" MAX SLUMP). NO WATER TO BE ADDED AFTER SLUMP HAS BEEN MEASURED.
- ALL CONCRETE REINFORCING SHALL BE ASTM A615 GRADE 60 AND PLACED IN ACCORDANCE WITH ACI STANDARDS
- REMOVE ALL ORGANIC MATERIAL, SOFT AND/OR UNSUITABLE SOILS WITHIN FOUNDATION FOOTPRINT. DO NOT UTILIZE THESE SOILS FOR BACKFILL.
- CONSULT GEOTECHNICAL INVESTIGATION REPORT FOR ANTICIPATED SOIL CONDITIONS AND CONSTRUCTION CONSIDERATIONS.
- FOUNDATION DESIGN BASED ON A PRESUMPTIVE SOIL BEARING CAPACITY OF 2000 PSF AND MAX. PLASTICITY INDEX OF 20. CONTRACTOR TO CONFIRM BEARING SOILS MEET THESE CONDITIONS BEFORE INSTALLATION.
- SOILS NOT MEETING THE DESIGN BEARING STRENGTH SHALL BE UNDERCUT AND REPLACED WITH 3-INCH BREAKER STONE. UNDERCUT ONE FOOT ON EACH SIDE OF THE FOOTING FOR EVERY FOOT IN DEPTH. CONSULT WITH ENGINEER FOR REQUIRED UNDERCUT DEPTH.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM ALL FOUNDATIONS.
- FOUNDATION DESIGN BASED ON INFORMATION PROVIDED BY SHELTER MFG. (WEIGHT, LIVE LOAD, ETC.). CONTRACTOR TO VERIFY EXACT SHELTER SIZE AND TYPE.

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	C-503



CONSULTANT:
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GENERATOR FUEL SYSTEM DETAILS
 WATERLOO (27651)
 WATERLOO, WISCONSIN

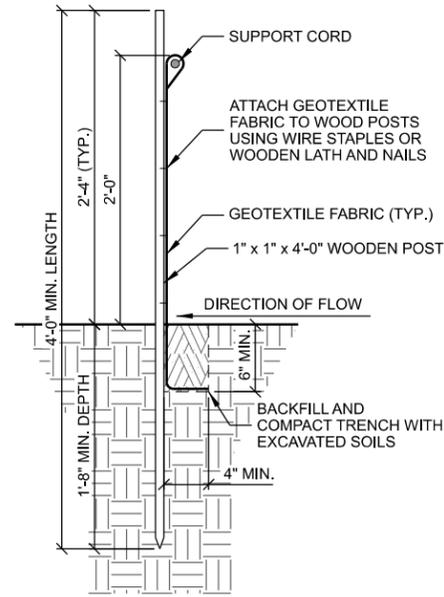
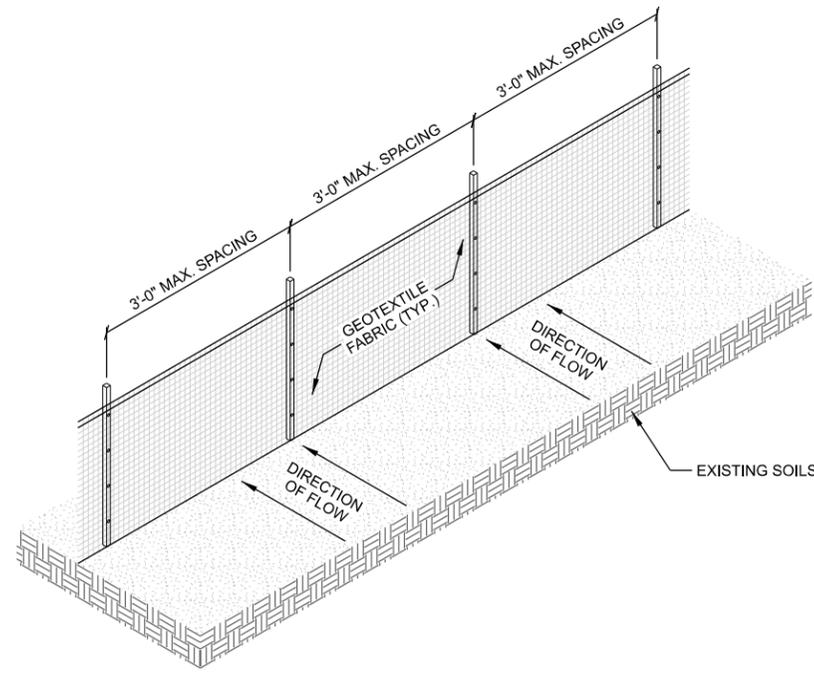
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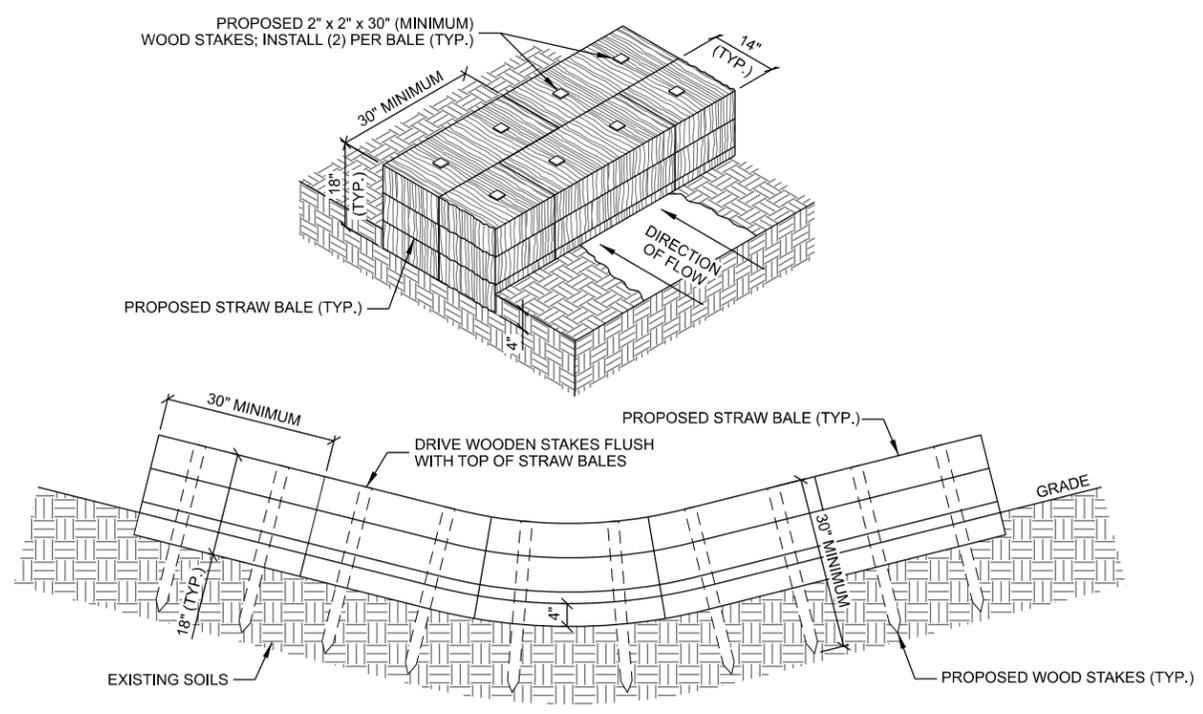
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PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	C-504

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- NOTES:
1. TRENCH SHALL BE SIZED TO ACHIEVE ADEQUATE GEOTEXTILE FABRIC ANCHORAGE. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 2. WOOD POSTS SHALL BE HICKORY OR OAK.
 3. 8'-0" POST SPACING IS ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.
 4. ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOIL CONDITIONS.

A SILT FENCE



- NOTES:
1. STAGGER JOINTS BETWEEN ADJACENT ROWS OF BALES.
 2. ALL DIMENSIONS ARE APPROXIMATE.

B STRAW BALE DITCH CHECK

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GRADING & EROSION CONTROL DETAILS
 WATERLOO (27651)
 WATERLOO, WISCONSIN

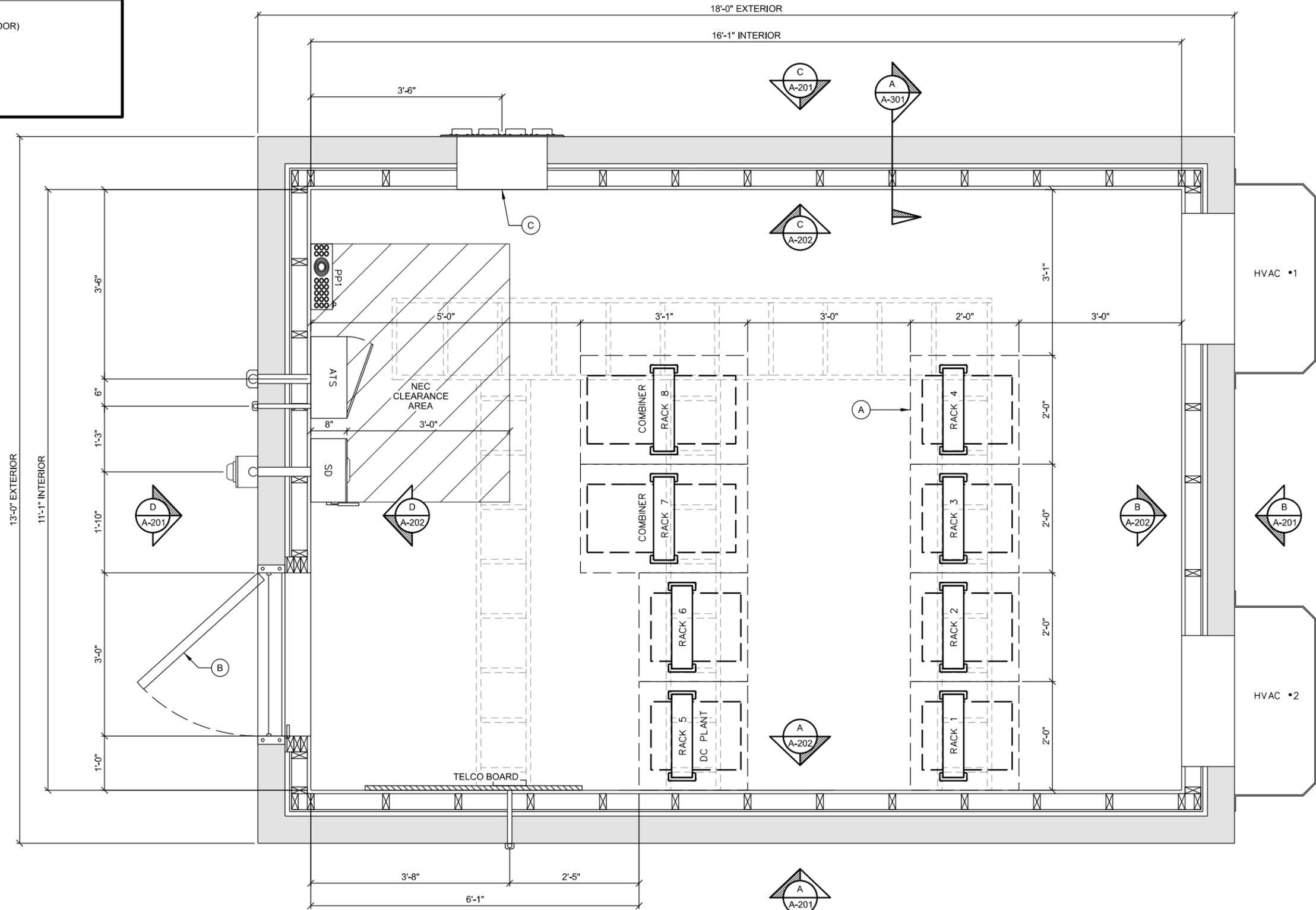
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INT.	DATE	DESCRIPTION

CHECKED BY	AJO
PLOT DATE	9/9/2021
PROJECT NUMBER	27651
SET TYPE	CB2
SHEET NUMBER	C-505

KEYNOTES: (THIS SHEET)

- A. RADIO EQUIPMENT RACK
INSTALLED BY OTHERS (RADIO VENDOR)
- B. 3'-0" ENTRY DOOR
- C. 12 HOLE (4x3) ENTRY PANEL PORT



GENERAL NOTES: (THIS SHEET)

1. CONTRACTOR TO COORDINATE UTILITY/CONDUIT PENETRATIONS. DIMENSIONS SHOWN ARE APPROXIMATE.

A SHELTER FLOOR PLAN
SCALE: 11" x 17" - 1/2" = 1'-0"
22" x 34" - 1" = 1'-0"

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**SHELTER FLOOR PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN**

SUBMITTAL:

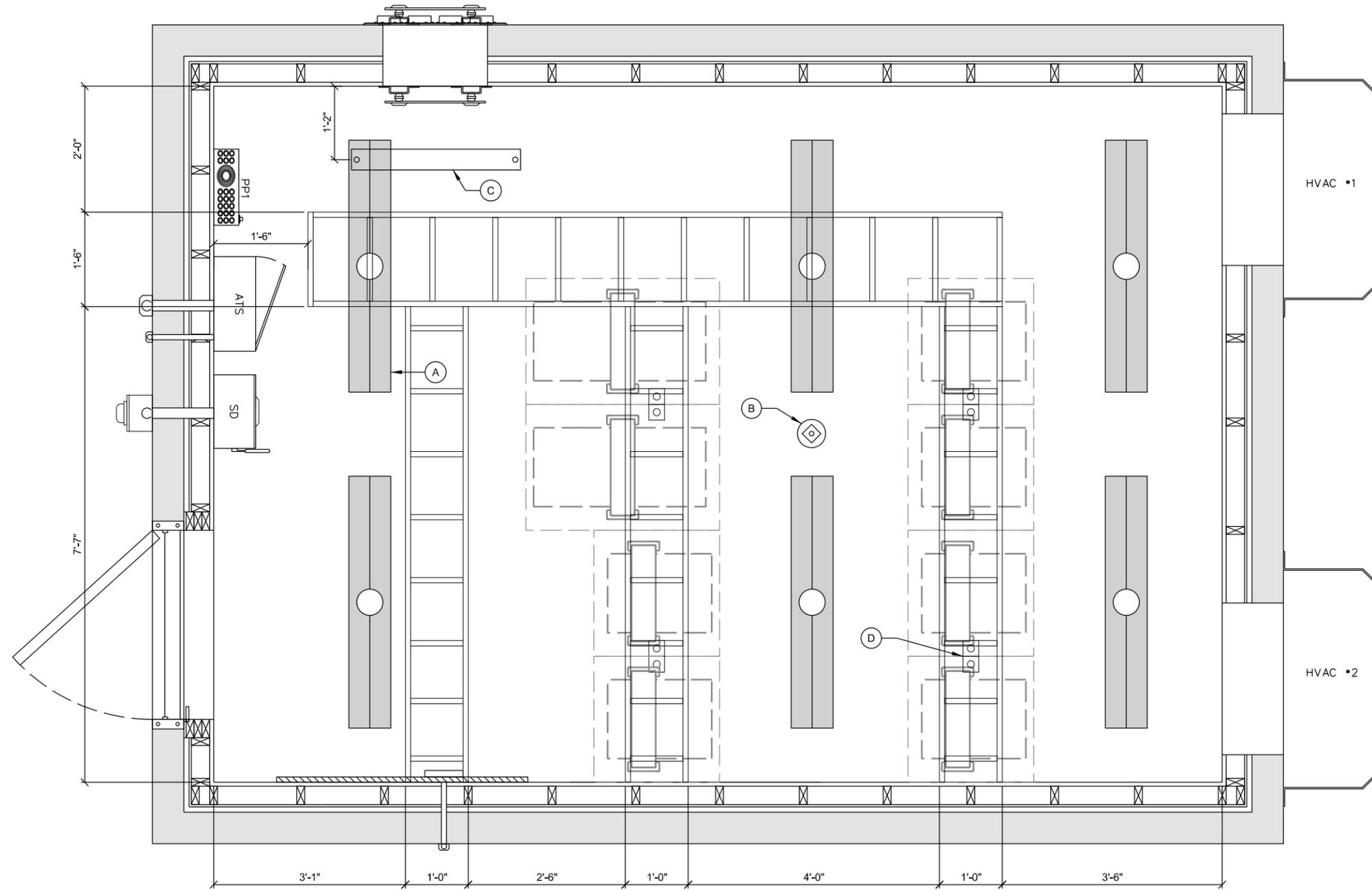
INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	A-101

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KEYNOTES: (THIS SHEET)

- A. 48" 2-BULB LIGHT FIXTURE
- B. SMOKE DETECTOR
- C. SURGE PROTECTOR TRAPEZE (POLYPHASER)
- D. (2) 20A 120V TWIST LOCK RECEPTACLES, CEILING MOUNTED IN 2 GANG BOX, LOCATED BETWEEN (2) ADJACENT RACKS.



A **SHELTER CEILING PLAN**
 SCALE: 11" x 17" - 1/2" = 1'-0"
 22" x 34" - 1" = 1'-0"

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SHELTER CEILING PLAN
 WATERLOO (27651)
 WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	A-102

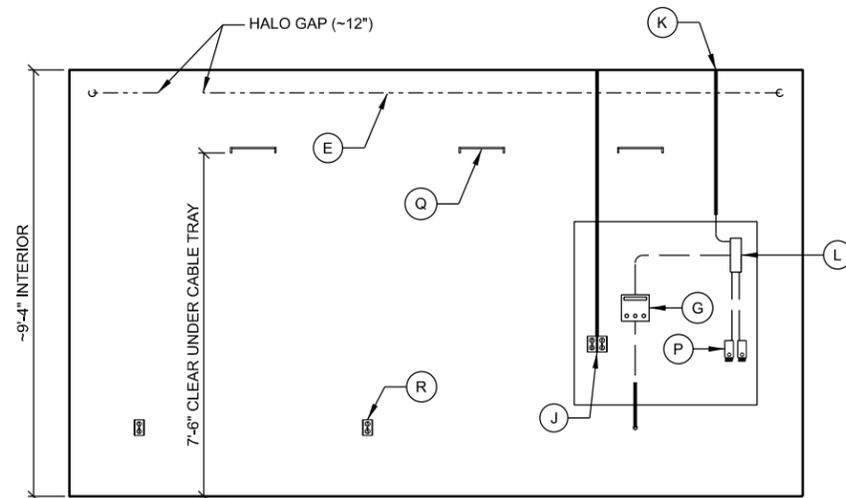
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KEYNOTES: (THIS SHEET)

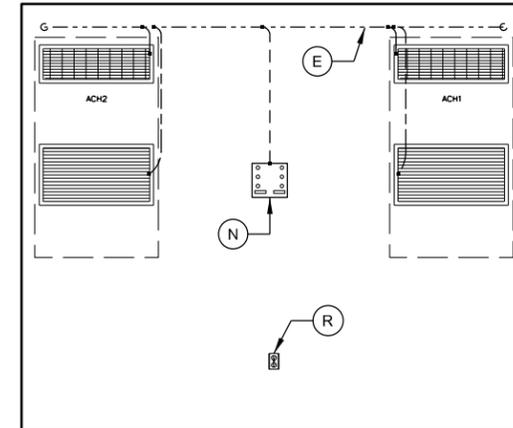
- A. AUTOMATIC TRANSFER SWITCH (ATS) PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR; INSTALL AT 6'-0" ABOVE FINISH FLOOR
- B. CONDUIT/RACEWAY BETWEEN ELECTRICAL BOXES (TYP.)
- C. 60A CIRCUIT BREAKER & SPD1 ON ELEC. SERVICE DISCONNECT
- D. BOND ALL DEVICE BOXES (ATS, SPD1 & SPD2) TO HALO (#6 STRANDED INSULATED)
- E. GROUNDING HALO (#2 STRANDED INSULATED)
- F. SPD2 ON DIST. PANEL (PP1)
- G. LP TANK LEVEL MONITOR
- H. MASTER GROUND BAR. FOLLOW PANI SYSTEM FOR ORGANIZATION OF CONNECTIONS TO BAR
- I. COAXIAL SURGE PROTECTOR TRAPEZE GROUND SYSTEM
- J. LP TANK LEVEL MONITOR DOUBLE DUPLEX OUTLET
- K. ALARM WIRING FROM INSTALLED DEVICES
- L. R66 ALARM BLOCK
- M. NEUTRAL-GROUND BOND CONNECTION FROM SD GROUND TERMINAL TO MGB (#2 STRANDED INSULATED). ROUTE ALONG PERIMETER WALL BELOW HALO
- N. HVAC LEAD LAG CONTROLLER
- O. 3/4" ALARM WIRING CONDUIT
- P. HIGH & LOW TEMP ENVIRONMENTAL ALARMS
- Q. CABLE TRAY SYSTEM
- R. RECEPTACLE/CONVENIENCE OUTLET

GENERAL NOTES: (THIS SHEET)

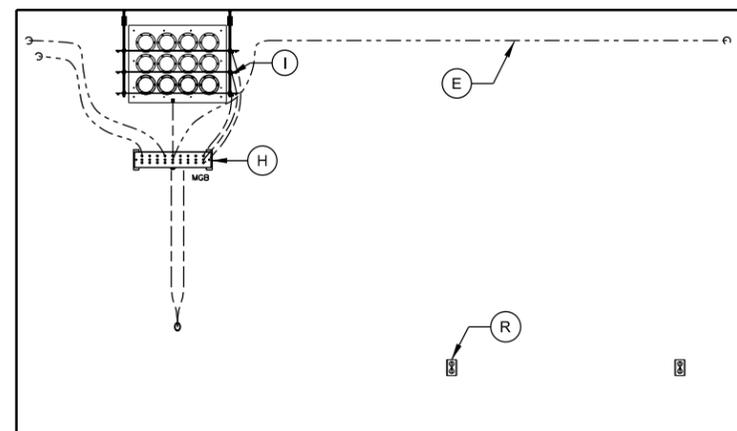
1. ALL INTERIOR CONDUITS TO BE RGS OR EMT. UTILIZE COMPRESSION FITTINGS FOR EMT INSTALLATIONS.
2. ALL MECHANICAL GROUND CONNECTIONS TO UTILIZE TWO HOLE LUGS, STAINLESS STEEL HARDWARE AND "NO-OX" COMPOUND ON CONNECTIONS. SELF TAPPING SCREWS ARE NOT ALLOWED.
3. PROVIDE EMT CONDUIT FOR ALL ALARM AND LOW VOLTAGE WIRING FROM DEVICE TO ALARM BOARD. CONDUITS NEED NOT BE FULL LENGTH AND MAY UTILIZE CABLE TRAY FOR HORIZONTAL RUNS. CONDUITS SHALL EXTEND ABOVE AND OVER TO CABLE TRAY AND PROVIDE BUSHINGS ON ENDS.
4. ALL METALLIC CONDUITS AND BOXES TO BE GROUND BONDED TO HALO.
5. ALL MECHANICAL CONNECTIONS SHALL INCLUDE ANTI OXIDANT COMPOUND BETWEEN LUG & CONNECTION POINT. USE COPPER ANTI-OXIDANT FOR COPPER TO COPPER CONNECTIONS.



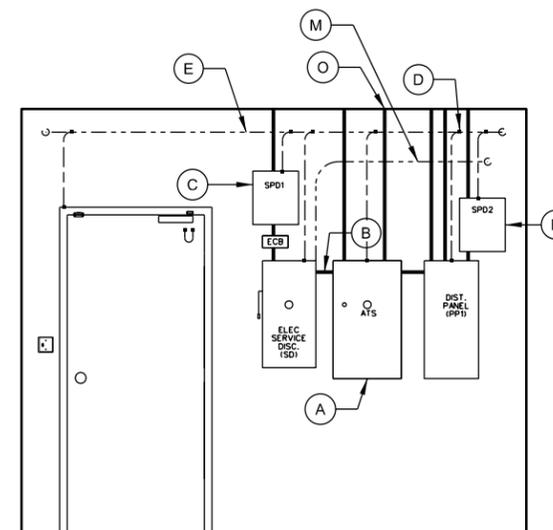
A INTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



B INTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



C INTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



D INTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"

CONSULTANT:

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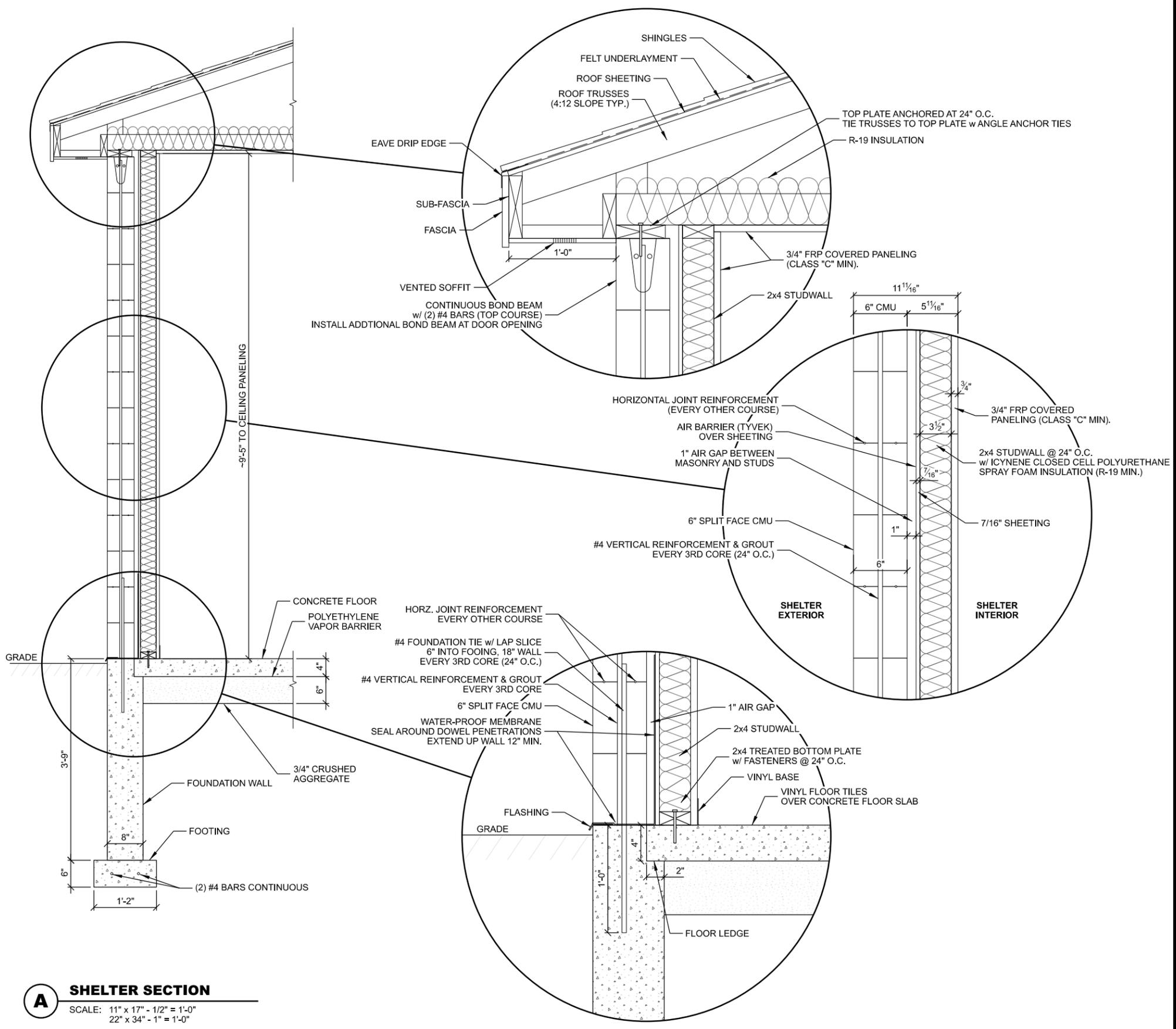


SHELTER ELEVATIONS: INTERIOR
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	A-202



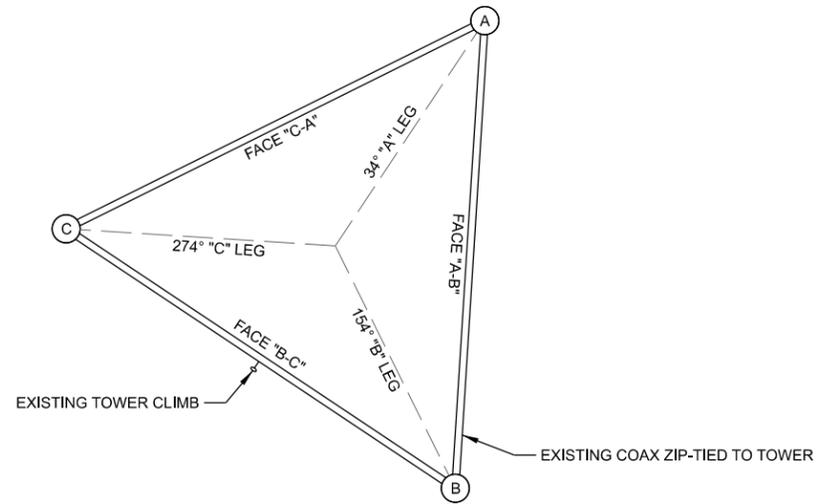
A SHELTER SECTION
 SCALE: 11" x 17" - 1/2" = 1'-0"
 22" x 34" - 1" = 1'-0"

SHELTER DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	A-301



A TOWER ORIENTATION

TOWER LOADING

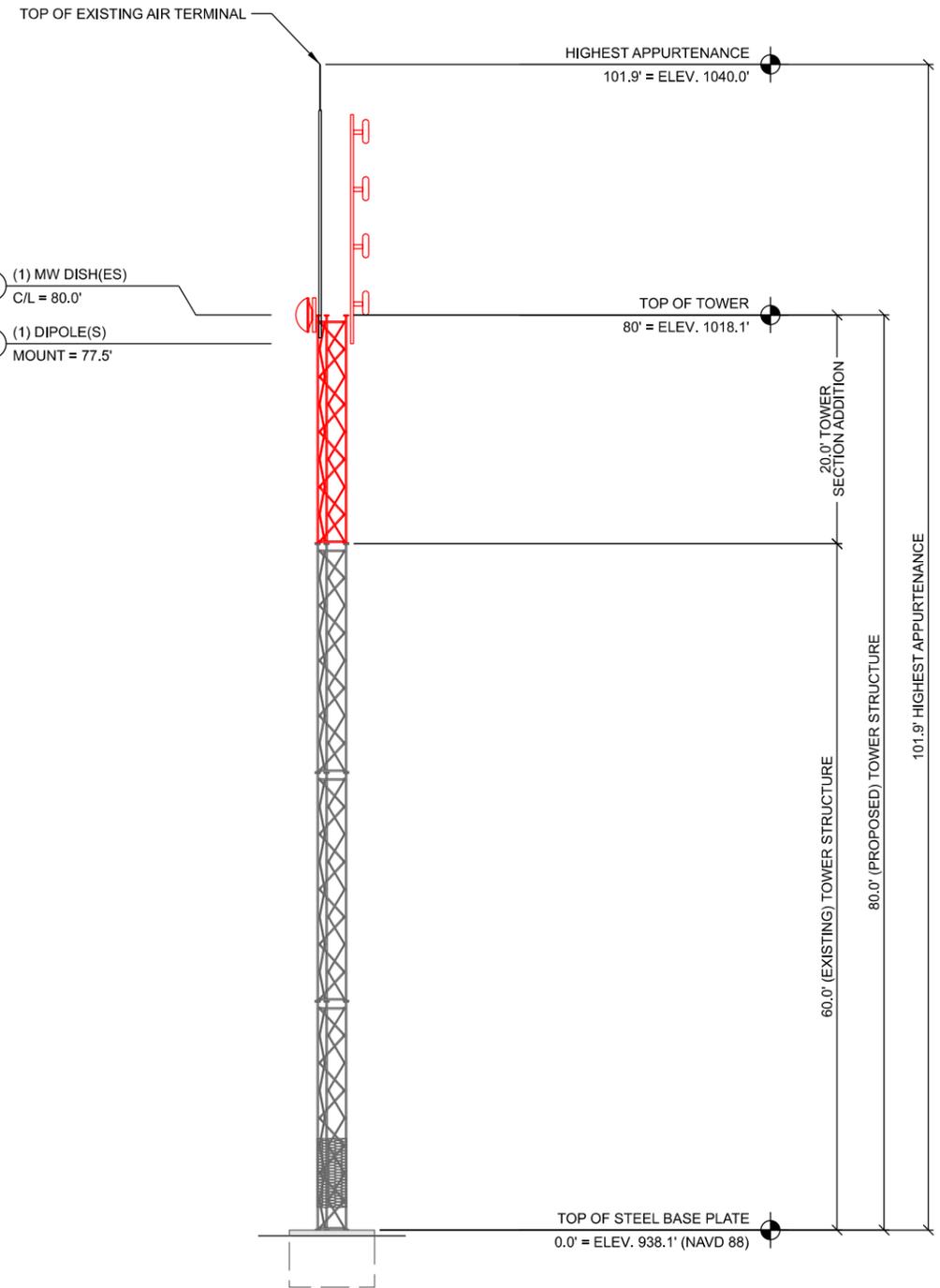
ANTENNA ID	ANTENNA TYPE	(QTY) ANTENNA MODEL SIZE & WEIGHT	TOWER LEG	ANTENNA MOUNT SIZE & WEIGHT	MOUNT HEIGHT (T.O.C.)	C/L HEIGHT (T.O.C.)	C/L ELEV. (NAVD 88)	ANTENNA AZMUTH	TLT (+/-)	Tx LINE (QTY) SIZE	FREQUENCY (MHz)	OWNER USE	NOTES
A1	Dipole	(1) Comprod 876F-70-TM40-14 20.5' Long 67 lbs.	A	Leg Mount (PM-SU4-63) 4.5" OD x 63" Mast Pipe 138.0 lbs.	77.5'	87.8'	1025.9'	315°		(2) LCF78-50JA (7.8")	138-174	Jefferson Co P25 Dual Rx/Tx	To replace existing DB224 Dual Antenna mounted @ 57.5' (Leg A)
A2	MW Dish	(1) radiowaves HP3-11 (TR) 3' Dia 50 lbs.	B	Leg Mount (PM-SU4-63) 4.5" OD x 63" Mast Pipe 138.0 lbs.	80.0'	80.0'	1018.1'	88.4°		(1) LDF2-50 (3.8")	11200	Jefferson Co. Path to Watertown	To replace existing Grid Dish @ 61.8' (Leg B) (Path to Jefferson Main Site)

**** ANTENNA AND LINE INSTALLATION BY OTHERS **
NOT PART OF CONTRACT**

NOTES:

- REFER TO ANTENNA MOUNTING DETAILS FOR ADDITIONAL INFO ON MOUNT DESIGN AND MOUNTING REQUIREMENTS.
- PROPOSED ANTENNA AND MICROWAVE LOADING IS BASED ON DESIGN SUPPLIED BY GENERAL COMMUNICATIONS, DATED 04/01/2021.

B TOWER LOADING SUMMARY



NOTES:

- ALL DIMENSIONS SHOWN ARE REFERENCED FROM THE TOP OF TOWER STEEL BASE PLATE.
- ALL ANTENNAS, DISHES, MOUNTS, ICE SHIELDS AND LINES SHALL BE SUPPLIED AND INSTALLED BY OTHERS (??????????).

C TOWER PROFILE (ELEVATION)

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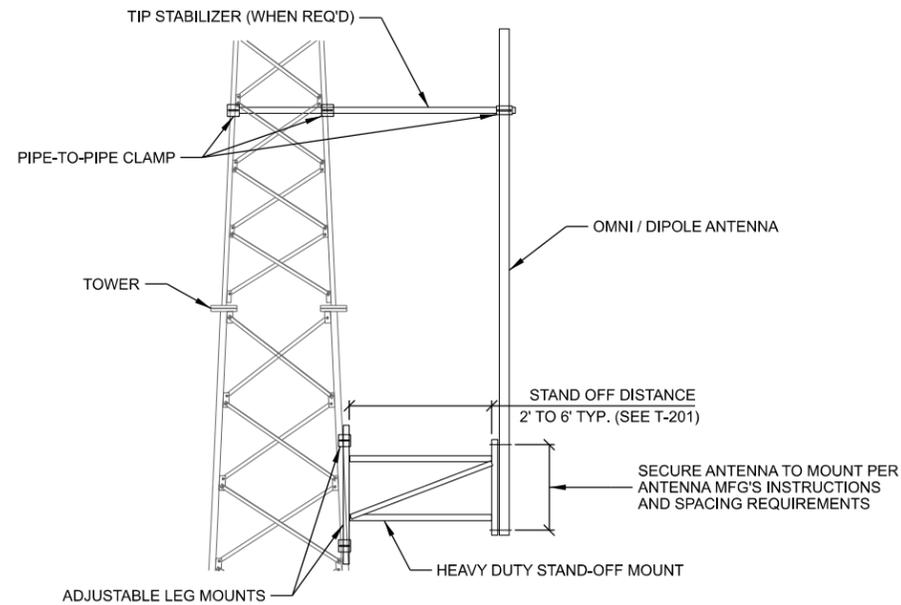
**TOWER LOADING / ELEVATION
WATERLOO (27651)
WATERLOO, WISCONSIN**

SUBMITTAL:

INT.	DATE	DESCRIPTION:

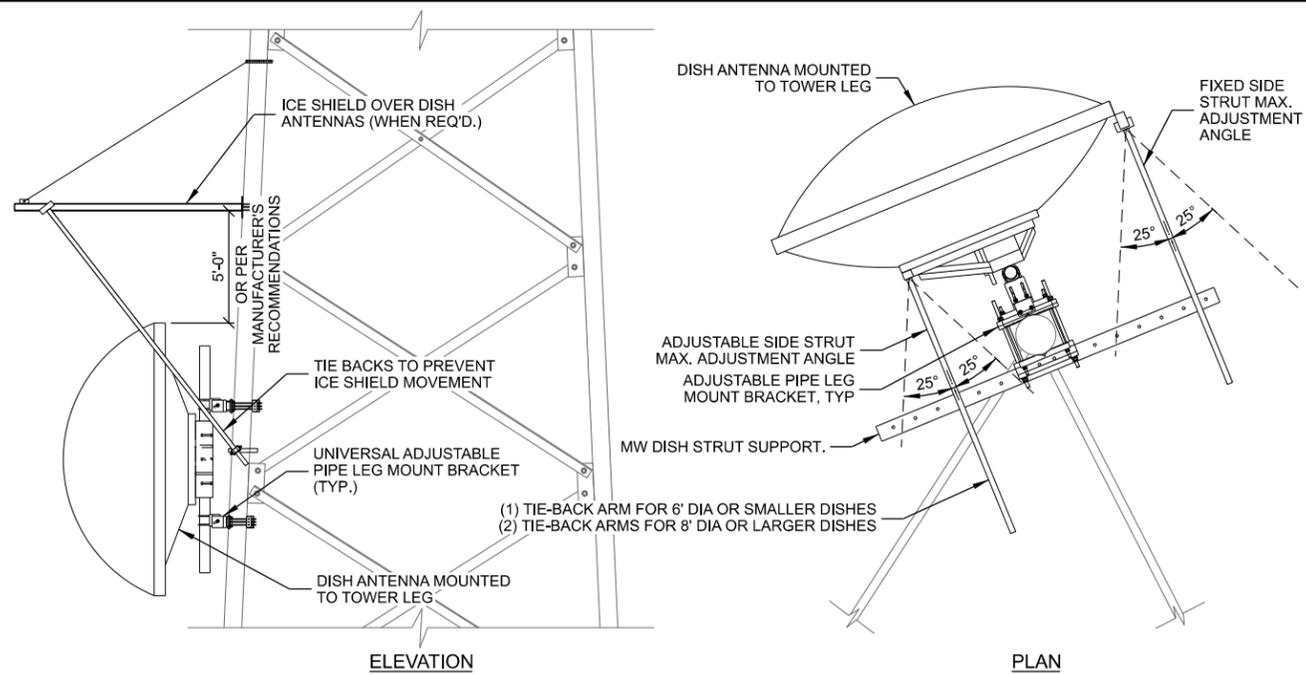
CHECKED BY	AJO
PLOT DATE	9/9/2021
PROJECT NUMBER	27651
SET TYPE	CB2
SHEET NUMBER	T-201

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- NOTES:
1. ANTENNA MOUNTS SHOWN ARE SCHEMATIC ONLY. TOWER MANUFACTURER IS RESPONSIBLE TO DESIGN MOUNTS TO MEET THE ANTENNA LOADS AND MAXIMUM WIND DESIGN PARAMETERS AS OUTLINED IN THE SPECS.
 2. POSITION LOCATIONS ARE REFERENCED INCREASING IN A CLOCKWISE DIRECTION (INCREASING AZIMUTH).
 3. ALL MOUNTS, MOUNTING HARDWARE AND ACCESSORIES TO BE HOT DIPPED GALVANIZED.

A OMNI / DIPOLE STANDOFF MOUNTING



- NOTES:
1. 4' DIA. OR GREATER DISH ANTENNAS TO BE MOUNTED ON 4.5" O.D. PIPE MASTS.
 2. INSTALL TIE-BACK SUPPORT(S) FOR EACH DISH PER DETAIL OR DISH MANUFACTURERS INSTRUCTIONS.
 3. ANTENNA MOUNTS SHOWN ARE SCHEMATIC ONLY. MOUNT MANUFACTURER IS RESPONSIBLE TO DESIGN MOUNTS TO MEET THE ANTENNA LOADS AND MAXIMUM WIND DESIGN PARAMETERS AS OUTLINED IN THE SPECS.
 4. ICE SHIELD WIDTH TO BE 2' WIDER THAN DISH DIAMETER MIN.
 5. ICE SHIELDS TO INCLUDE TIE BACK WIRES TO PREVENT MOVEMENT & TWIST IN HIGH WIND CONDITIONS.

B DISH MOUNTING

*** * ANTENNA INSTALLATION BY OTHERS * ***
NOT PART OF CONTRACT

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CLIENT:
ANTENNA INSTALLATION DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	T-503

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GROUNDING LEGEND: (THIS SHEET)

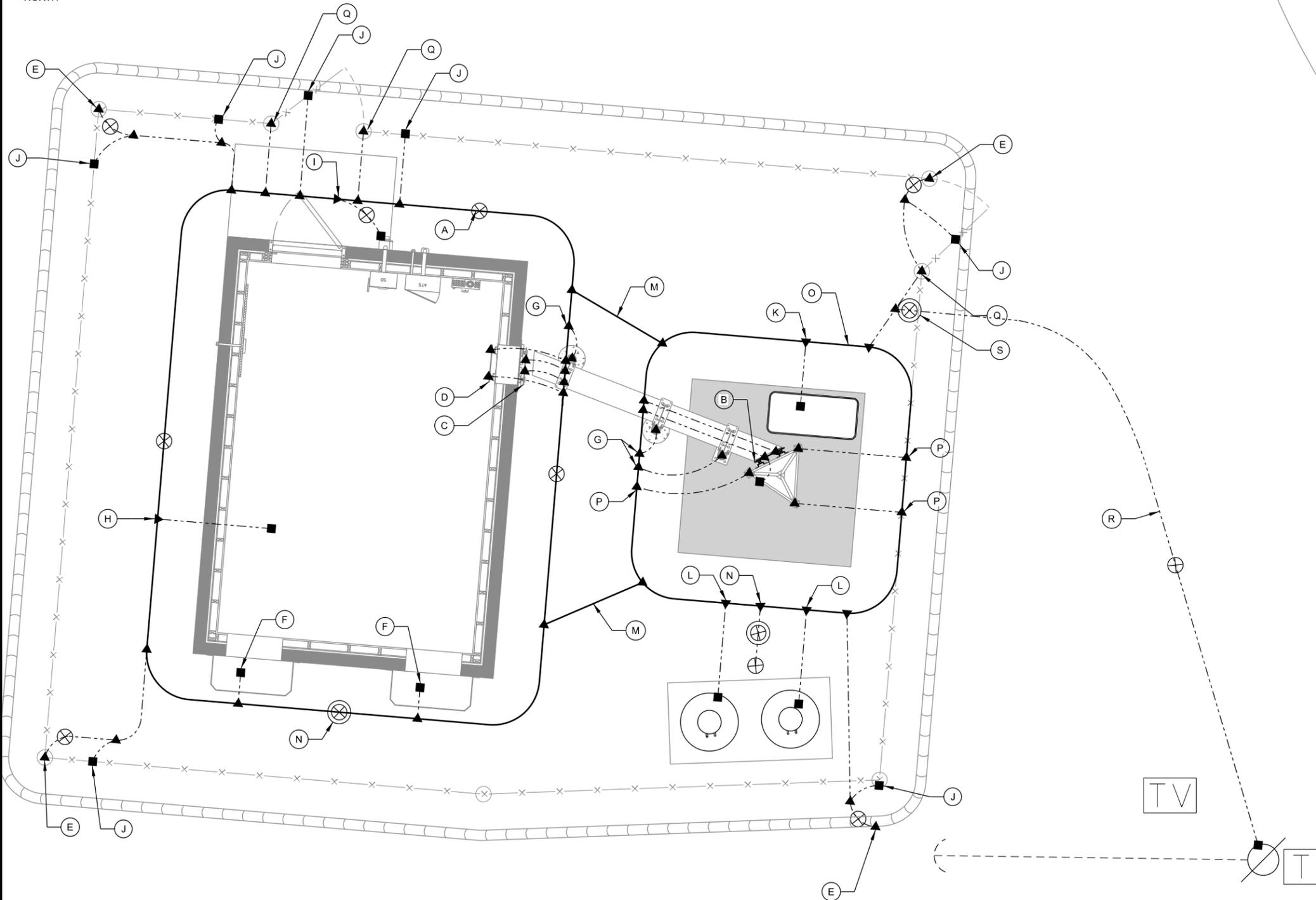
-  GROUND TEST WELL, SEE E-502 FOR DETAILS
-  COPPER CLAD GROUND ROD, (5/8" DIA. x 10' LONG)
SPACE @ 2X GROUND ROD LENGTH (20' O.C. MAX., 6' MIN.)
-  COPPER PLATE, (18" x 18" x 0.032" THK)
SPACE @ 2X GROUND ROD LENGTH (20' O.C. MAX., 6' MIN.)
-  EXOTHERMIC OR UL RATED IRREVERSIBLE CONNECTION
(CADWELD OR HYGROUND)
-  MECHANICAL CONNECTION
(BURNDY 2-HOLE LUG OR APPROVED EQUAL)
-  #2 AWG BARE SOLID TINNED COPPER CONDUCTOR
IN STANDARD GROUND TRENCH, SEE E-502 FOR DETAILS
-  #2/0 AWG BARE STRANDED TINNED COPPER CONDUCTOR
IN STANDARD GROUND TRENCH, SEE E-502 FOR DETAILS
-  #2 AWG BARE SOLID TINNED COPPER CONDUCTOR
IN ENHANCED GROUND TRENCH, SEE E-502 FOR DETAILS

KEYNOTES: (THIS SHEET)

- A. SHELTER GROUND RING, MAINTAIN 2' SEPARATION FROM SHELTER FOUNDATION
- B. TOWER GROUND BAR, (2) LEADS TO TOWER GROUND RING & (1) TO TOWER STEEL
- C. EXTERIOR SHELTER GROUND BAR, (2) LEADS TO SHELTER GROUND RING
- D. INTERIOR SHELTER GROUND BAR (MGB), (2) LEADS TO SHELTER GROUND RING
- E. FENCE CORNER POST GROUND, SEE E-502 FOR DETAILS
- F. SHELTER EXTERIOR AC UNIT GROUND
- G. ICE BRIDGE/UTILITY POST GROUND, SEE E-501 FOR DETAILS
- H. SHELTER FOUNDATION GROUND, SEE E-502 FOR DETAILS
- I. A/C METER BOX GROUND
- J. FENCE FABRIC & DETERRANT WIRING BONDING, SEE E-502 FOR DETAILS
- K. GROUND GENERATOR ENCLOSURE, (1) LEAD
- L. GROUND LP TANK, EACH LEG
- M. SHELTER GROUND RING TO TOWER GROUND RING, (2) LEADS
- N. GROUND TEST WELL, SEE DETAIL C/E-502
- O. TOWER GROUND RING, MAINTAIN 2' SEPARATION FROM TOWER FOUNDATION
- P. TOWER STEEL GROUND, (1) PER LEG REQ'D. EXOTHERMIC WELD TO LEG GROUND TAB
- Q. FENCE GATE GROUND, SEE E-502 FOR DETAILS
- R. TRANSFORMER GROUND, (1) LEAD
- S. TRANSFORMER GROUND DISCONNECT, SEE E-502

GENERAL NOTES: (THIS SHEET)

1. ALL EXTERIOR GROUNDING SHALL MEET OR EXCEED THE CURRENT HARRIS SITE GROUNDING AND LIGHTNING PROTECTION GUIDELINES. REFER TO INSTALLATION MANUAL AE/LZT 123 4618/1 REV F (JUNE 2017).
2. THE GROUNDING SYSTEM & CONDUCTORS SHALL BE INSPECTED BY THE ENGINEER PRIOR TO BACK FILLING. SYSTEM SHALL PROVIDE 3 OHM OR LESS RESISTANCE UPON COMPLETION.
3. ALL NON-INSULATED GROUND LEADS EXTENDING ABOVE GROUND LEVEL SHALL BE ENCASED IN 1/2" PVC & SEALED WITH SILICONE.
4. GROUND RINGS & TOP OF RODS SHALL BE INSTALLED AT 30" BELOW FINISHED GRADE. (SEE DETAIL A/E-501)
5. INSTALL 18"x18" COPPER PLATES IN LIEU OF GROUND RODS WHEN INSTALLING OVER TOWER FOUNDATION OR WHERE DRIVING GROUND RODS IS NOT FEASIBLE. REFER TO GEOTECH REPORT FOR SOIL CONDITIONS.
6. ALL MECHANICAL CONNECTIONS SHALL INCLUDE ANTI-OXIDANT COMPOUND BETWEEN LUG & CONNECTION POINT. USE COPPER ANTI-OXIDANT FOR COPPER TO COPPER CONNECTION
7. ALL ABOVE GRADE CADWELD CONNECTIONS (TO GALVANIZED ITEMS) SHALL BE SPRAYED WITH COLD GALVANIZING COMPOUND TO PREVENT CORROSION.
8. ALL MECHANICAL GROUND CONNECTIONS TO UTILIZE TWO HOLE LUGS, STAINLESS STEEL HARDWARE AND "NO-OX" COMPOUND ON CONNECTIONS. SELF TAPPING SCREWS ARE NOT ALLOWED.



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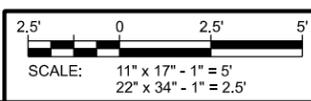


**GROUNDING PLAN
 WATERLOO (27651)
 WATERLOO, WISCONSIN**

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	E-101



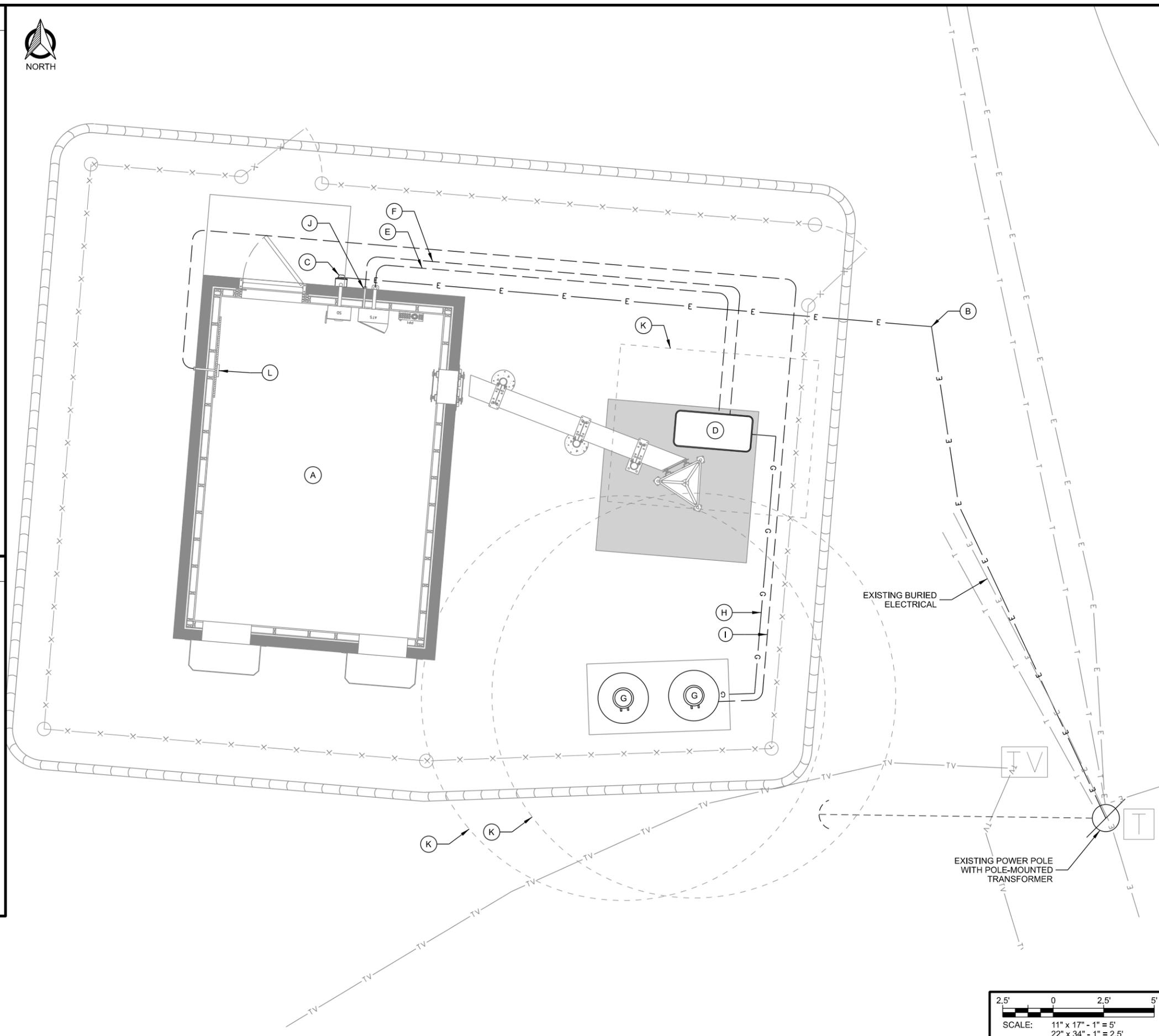
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KEYNOTES: (THIS SHEET)

- A. EQUIPMENT SHELTER
- B. 200A 120/240V 1P ELECTRIC SERVICE FROM EXISTING POLE-MOUNTED TRANSFORMER TO SINGLE ELECTRIC METER MOUNTED TO JEFFERSON COUNTY EQUIPMENT BUILDING; (1) 2" CONDUIT INSTALLED BY CONTRACTOR
- C. SINGLE ELECTRIC METER SOCKET INSTALLED BY CONTRACTOR; E-504 FOR DETAILS
- D. EXISTING 17 KW HONEYWELL GENERATOR MODEL #: 006260R2, 120/240V, 141.7/70.8A; RELOCATED BY CONTRACTOR
- E. GENERATOR AC ELECTRIC; (1) 2" CONDUIT BY CONTRACTOR.
- F. GENERATOR CONTROL & ALARM; (1) 1" CONDUIT BY CONTRACTOR.
- G. EXISTING RELOCATED 120 GAL. LP TANK ON NEW 3'-6" x 7'-0" CONCRETE PAD (TYP. OF 2) RELOCATED BY CONTRACTOR; SEE C-504 FOR DETAILS
- H. LP FUEL LINE BY CONTRACTOR, SEE E-505 FOR DETAILS
- I. REMOTE LP FUEL TANK LEVEL MONITOR CONDUIT; (1) 1" CONDUIT BY CONTRACTOR
- J. STUB ALL CONDUITS ON OUTSIDE OF CONCRETE FOUNDATION. ALL OUTSIDE BUILDING PENETRATIONS TO BE WEATHERPROOF LB, SEE E-503 FOR DETAILS
- K. UTILITY SETBACK / CLEARANCES. 3' AROUND GENERATOR. 10' AROUND LP TANK VALVE
- L. REMOTE LP FUEL TANK LEVEL MONITOR BY CONTRACTOR

GENERAL NOTES: (THIS SHEET)

1. CONTRACTOR SHALL FIELD VERIFY DEPTHS, LOCATIONS, & SIZES OF ALL EXISTING UTILITIES.
2. ALL UTILITIES SHALL BE INSTALLED ACCORDING TO STATE AND LOCAL REQUIREMENTS.
3. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL, STATE, AND LOCAL CODES.
4. ALL UNDERGROUND TRENCHING, PIPE AND CONDUIT INSTALLATION TO BE COMPLETED PRIOR TO FINAL SUBGRADE COMPACTION AND AGGREGATE INSTALLATION.
5. ALL CONDUCTORS TO BE COPPER.
6. ALL UNDERGROUND ELECTRICAL & TELCO CONDUITS TO BE SCH. 80 PVC UNLESS OTHERWISE REQUIRED BY THE UTILITY PROVIDER.
7. ALL OUTDOOR ABOVE GRADE EXPOSED ELECTRICAL CONDUITS TO BE RIGID GALVANIZED STEEL (RGS). ALL BELOW GRADE CONDUIT STUB UPS TO BE SCH 80 PVC WITH SLIP JOINT.
8. REFERENCE MANUFACTURER AND CATALOG NUMBERS ARE USED FOR QUALITY AND PERFORMANCE ONLY. EQUIPMENT MFR. BY OTHERS ARE EQUALLY ACCEPTABLE PROVIDED THEY MEET OR EXCEED THE SPEC.
9. PROVIDE AND INSTALL ALL NECESSARY WIRING AND CONDUITS FROM EXTERIOR ELECTRICAL ITEMS TO DISTRIBUTION PANEL WITHIN EQUIPMENT BUILDING.
10. ALL CONDUIT STUBS IN BUILDINGS & PULL BOXES TO BE IDENTIFIED AND LABELED.
11. PROVIDE PULL STRINGS IN ALL CONDUITS.
12. ALL INDOOR EXPOSED CONDUIT TO BE METALLIC (EMT OR RGS).
13. SEE E-503 FOR CONDUIT INSTALLATION REQUIREMENTS.



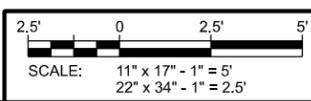
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CLIENT:
**UTILITY PLAN
 WATERLOO (27651)
 WATERLOO, WISCONSIN**

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	E-102



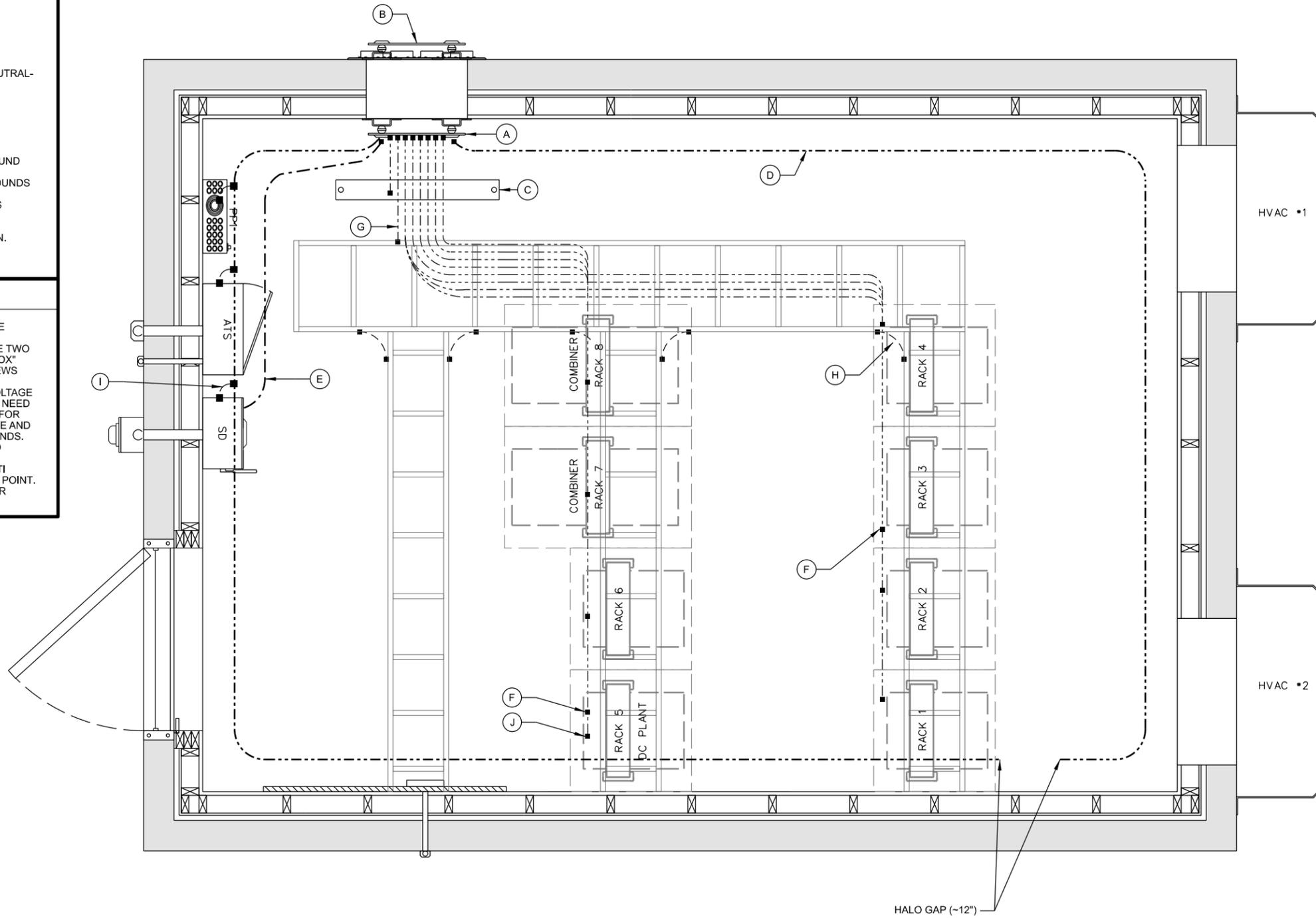
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KEYNOTES: (THIS SHEET)

- A. MASTER GROUND BAR
- B. EXTERIOR GROUND BAR
- C. COAXIAL SURGE ARRESTOR TRAPEZE
- D. #2 STRANDED INSULATED HALO
- E. #2 STRANDED INSULATED SERVICE DISCONNECT NEUTRAL-GROUND BOND LEAD TO MGB
- F. #2 STRANDED INSULATED RACK GROUNDS; PROVIDE PIGTAIL LEAD TO EACH RACK LOCATION. CONNECTION TO RACK BY RADIO VENDOR. (1) PER RACK
- G. #2 STRANDED INSULATED CABLE TRAY SYSTEM GROUND
- H. #6 STRANDED INSULATED CABLE TRAY SECTION GROUNDS
- I. #6 STRANDED INSULATED METAL DEVICE/BOX BONDS
- J. (1) #2 STRANDED INSULATED DC PLANT GROUND; PROVIDE PIGTAIL LEAD TO DC PLANT RACK LOCATION. CONNECTION TO RACK BY RADIO VENDOR.

GENERAL NOTES: (THIS SHEET)

1. ALL INTERIOR CONDUITS TO BE RGS OR EMT. UTILIZE COMPRESSION FITTINGS FOR EMT INSTALLATIONS.
2. ALL MECHANICAL GROUND CONNECTIONS TO UTILIZE TWO HOLE LUGS, STAINLESS STEEL HARDWARE AND "NO-OX" COMPOUND ON CONNECTIONS. SELF TAPPING SCREWS ARE NOT ALLOWED.
3. PROVIDE EMT CONDUIT FOR ALL ALARM AND LOW VOLTAGE WIRING FROM DEVICE TO ALARM BOARD. CONDUITS NEED NOT BE FULL LENGTH AND MAY UTILIZE CABLE TRAY FOR HORIZONTAL RUNS. CONDUITS SHALL EXTEND ABOVE AND OVER TO CABLE TRAY AND PROVIDE BUSHINGS ON ENDS.
4. ALL METALLIC CONDUITS AND BOXES TO BE GROUND BONDED TO HALO.
5. ALL MECHANICAL CONNECTIONS SHALL INCLUDE ANTI OXIDANT COMPOUND BETWEEN LUG & CONNECTION POINT. USE COPPER ANTI-OXIDANT FOR COPPER TO COPPER CONNECTIONS.



A **SHELTER GROUNDING PLAN**
 SCALE: 11" x 17" - 1/2" = 1'-0"
 22" x 34" - 1" = 1'-0"

CONSULTANT:



CLIENT:



SHELTER GROUNDING PLAN
 WATERLOO (27651)
 WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	E-103

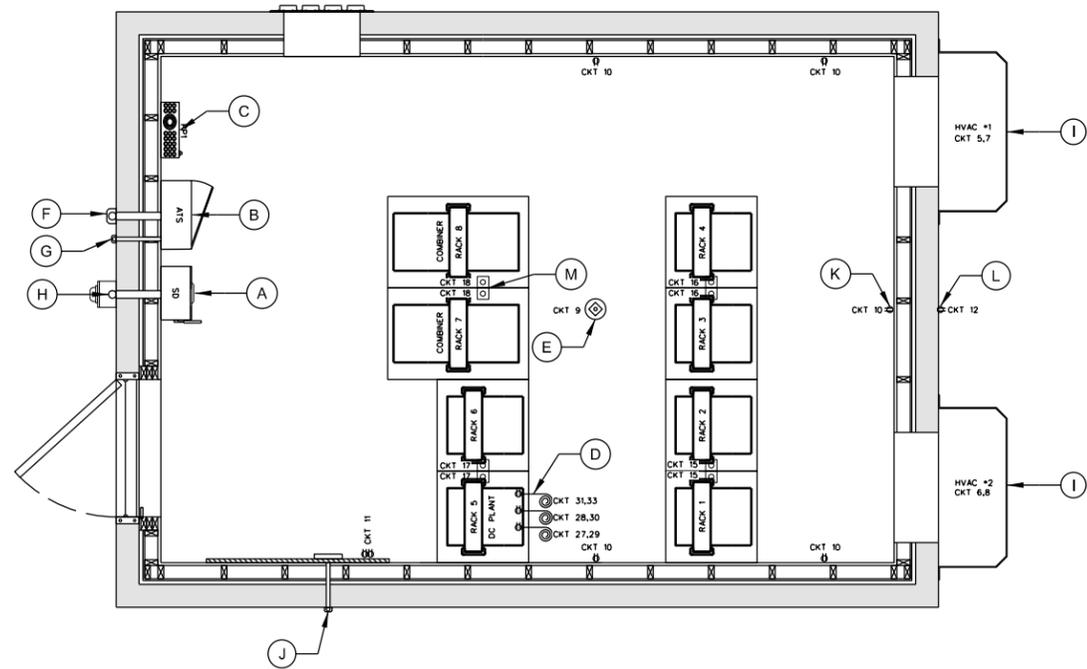
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KEYNOTES: (THIS SHEET)

- A. SERVICE DISCONNECT
- B. AUTOMATIC TRANSFER SWITCH (ATS)
200A GENERAC (30"Hx13.5"Wx7"D)
PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
- C. DISTRIBUTION PANEL (PP1)
- D. (3) DC PLANT POWER FEEDS.
PROVIDE PIGTAIL LEADS FROM CEILING MOUNTED
JUNCTION BOX.
CONNECTION TO RACKS BY RADIO VENDOR.
- E. SMOKE ALARM
- F. GENERATOR A/C POWER FEED
- G. GENERATOR CONTROL WIRING FEED
- H. ELECTRIC UTILITY SERVICE FEED
- I. HVAC UNIT (2 TON)
- J. LP TANK LEVEL MONITOR RECEPTACLE
- K. INTERIOR CONVENIENCE OUTLET
- L. EXTERIOR CONVENIENCE OUTLET
- M. (2) 20A 120V TWIST LOCK RECEPTACLES, CEILING MOUNTED
IN 2 GANG BOX, LOCATED BETWEEN (2) ADJACENT RACKS.
(1) 20A, 120V CIRCUIT PER EACH PAIR OF TWIST LOCKS.

GENERAL NOTES: (THIS SHEET)

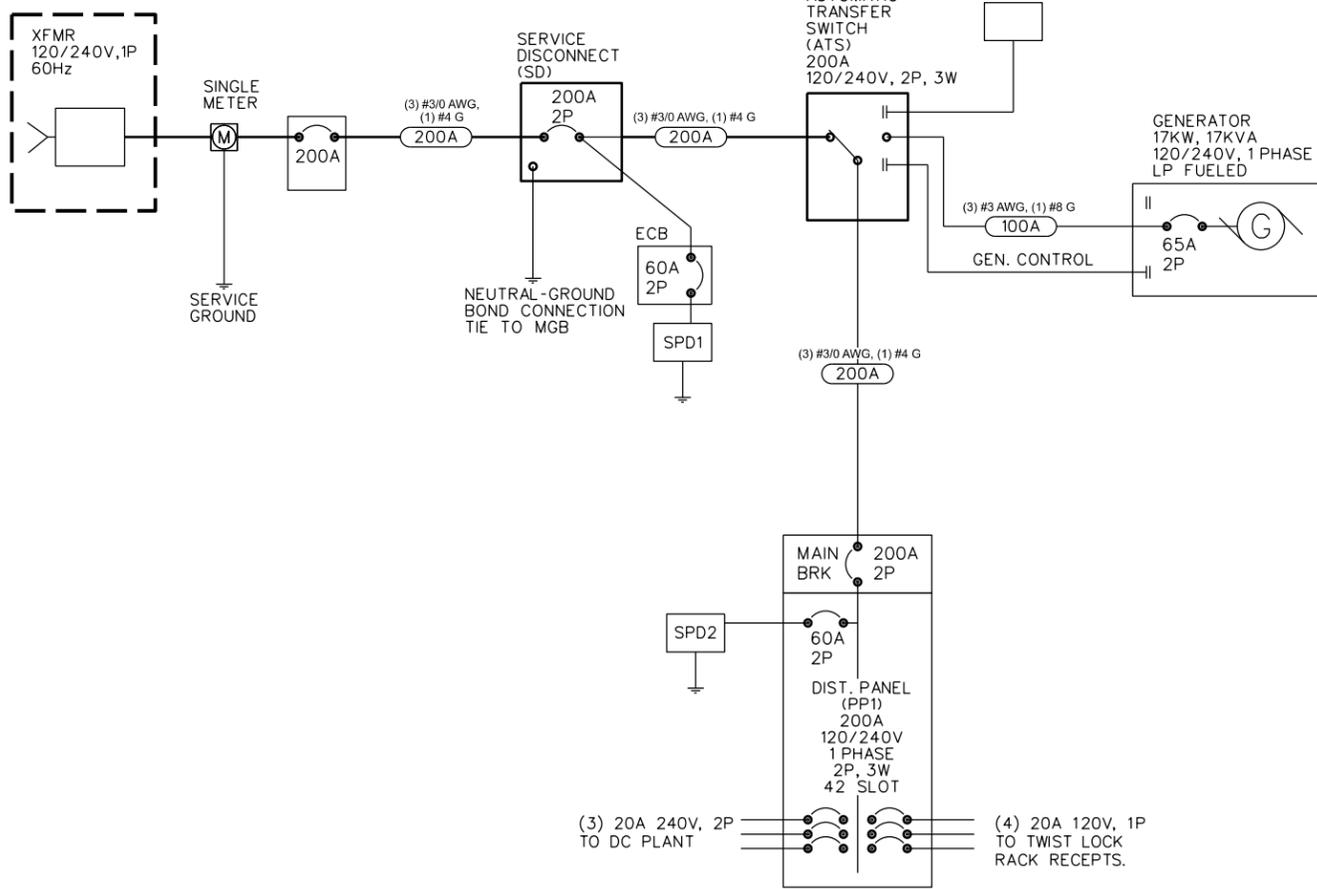
1. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL, STATE AND LOCAL CODES.
2. ALL WIRE AND CONDUIT SIZES SPECIFIED ARE MINIMUMS. LARGER SIZES MAY BE REQUIRED BY CODE. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. ALL CONDUCTORS SHALL BE COPPER.
4. ALL INDOOR RACEWAY TO BE EMT OR RGS. EMT INSTALLATIONS SHALL UTILIZE COMPRESSION FITTINGS.
5. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY WIRING AND CONDUITS FROM ELECTRICAL DEVICES REQUIRED ON PROJECT TO THE DISTRIBUTION PANELS.
6. ALL ELECTRICAL WORK SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A LICENSED MASTER ELECTRICIAN.
7. CONTRACTOR SHALL PERFORM AN INSPECTION OF THE EXISTING ELECTRICAL EQUIPMENT AND INSTALLATION WITHIN THE PRE-MANUFACTURED BUILDING PROVIDED BY THE OWNER FOR CONFORMANCE WITH STATE AND LOCAL ELECTRICAL CODE. ELECTRICAL CONTRACTOR SHALL NOTIFY ENGINEER OF ANY NON-CONFORMING ITEMS.



A SHELTER ELECTRICAL PLAN

SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"

BY UTILITY



B ELECTRICAL ONE LINE DIAGRAM

SCALE: 11" x 17" - NTS
22" x 34" - NTS

DIST. PANEL (PP1)	PHASE/WIRE	BUS SIZE	MAIN LUGS			AIC RATING
120/240VAC	1/3	200A				10,000
LOAD	POLE	TRIP	WIRE	A	B	LOAD
Surge Arrester SPD2	4	2	60	1		SPARE
	-	-	-	3		SPARE
HVAC #1	8	2	30	5		HVAC #2
	-	-	-	7		
Smoke Detector	12	1	20	9		Receptacles - Interior
LP Tank Monitor	12	1	20	11		Receptacles - Exterior
SPARE	-	-	-	13		Lights - Int/Emer/Door
Twist Lock Recept. 1&2	12	1	20	15		Twist Lock Recept. 3&4
Twist Lock Recept. 5&6	12	1	20	17		Twist Lock Recept. 7&8
SPARE	-	-	-	19		
SPARE	-	-	-	21		SPARE
SPARE	-	-	-	23		SPARE
SPARE	-	-	-	25		SPARE
DC Drop #1	12	2	20	27		SPARE
	-	-	-	29		DC Drop #2
DC Drop #3	12	2	20	31		SPARE
	-	-	-	33		SPARE
SPARE	-	-	-	35		SPARE
SPARE	-	-	-	37		SPARE
SPARE	-	-	-	39		SPARE
SPARE	-	-	-	41		SPARE
	-	-	-	42		SPARE

C ELECTRIC DISTRIBUTION PANEL DIRECTORY

SCALE: 11" x 17" - NTS
22" x 34" - NTS

CONSULTANT:
Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com

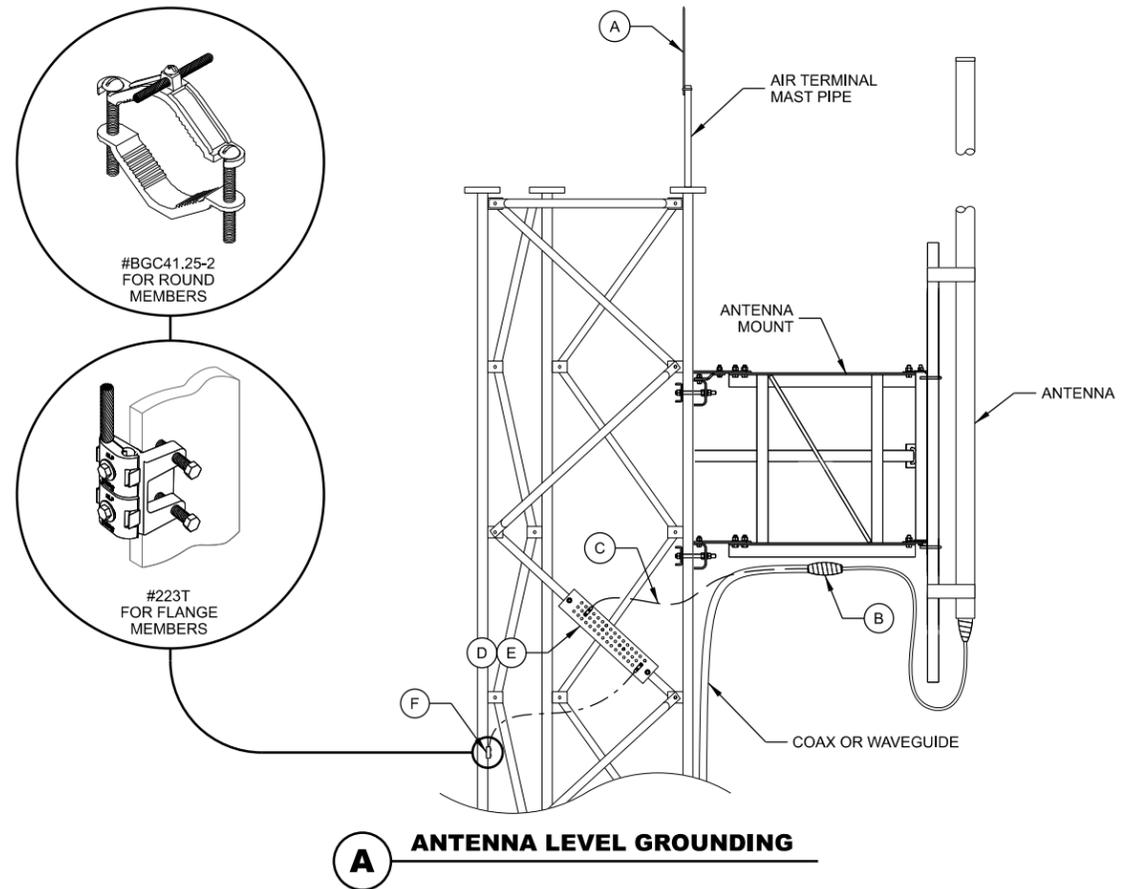


CLIENT:
SHELTER ELECTRICAL PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN

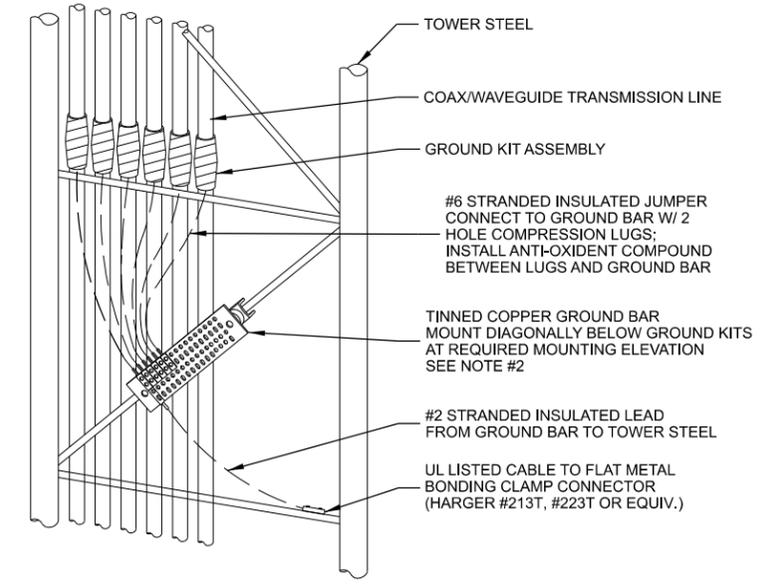
SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
CHECKED BY:	AJO	
PLOT DATE:	9/9/2021	
PROJECT NUMBER:	27651	
SET TYPE:	CB2	
SHEET NUMBER:	E-104	

KEYNOTES: (THIS SHEET)

- A. AIR TERMINAL:
EXTEND 2' ABOVE HIGHEST ANTENNA MIN. ON MAST PIPE
MECHANICALLY FASTEN AIR TERMINAL TO MAST PIPE
PIPE TO BE MECHANICALLY CONNECTED TO TOWER STEEL
- B. COAX / WAVEGUIDE TRANSMISSION LINE GROUND KIT;
SEE DETAIL THIS PAGE
- C. GROUND KIT JUMPER;
CONNECT TO GROUND BAR WITH 2 HOLE LONG BARREL LUG
- D. ANTENNA GROUND BAR (TINNED);
FOR CONNECTION OF MULTIPLE GROUND KITS AT ONE
LEVEL MOUNT TO TOWER STEEL;
INSTALL #2 STRANDED LEAD FROM GROUND BAR TO TOWER
STEEL
- E. FOR SINGLE ANTENNAS AT ONE LEVEL OMIT ANTENNA
GROUND BAR CONNECT GROUND KIT JUMPER DIRECTLY TO
TOWER STEEL WITH UL LISTED BONDING CLAMP
- F. UL LISTED BONDING CLAMP:
- HARGER BGC41.25-2 PIPE CLAMPS FOR
1-1/4" TO 2" DIA. ROUND MEMBERS
OR
- HARGER #223T HEAVY DUTY TINNED FLANGE
BONDING PLATE
- USE EXTERNAL ANTI-OXIDATION COMPOUND.
- PAINT WITH COLD GALV. COMPOUND AFTER BONDING.
- G. TOWER GROUND BAR (TGB) (TINNED);
4" x 18" x 1/2" - SIZED FOR (30) 2 HOLE GROUND LUGS MOUNT
DIAGONALLY FOR EASIER HOOK-UP OF GROUNDING KIT
LEADS INSTALL ON TOWER WITH INSULATORS AT 12" (ABOVE
ICE BRIDGE)
- H. TGB GROUNDS;
#2 BARE SOLID TINNED ENCASED IN CARFLEX CONDUIT
FROM TGB TO TOWER GROUND RING (2) REQ'D AND FROM
TGB TO TOWER STEEL (1) REQ'D
- I. TOWER STEEL GROUNDS;
#2 BARE SOLID TINNED ENCASED IN CARFLEX CONDUIT
FROM TOWER STEEL TO TOWER GROUND RING (3) REQ'D.
- J. TOWER FOUNDATION GROUND, (1 REQ'D);
SEE E-502 FOR DETAILS
- K. SHELTER EXTERIOR GROUND BAR (EGB) (TINNED);
SEE DETAIL THIS PAGE
- L. EGB GROUNDS;
#2 BARE SOLID TINNED
SEE DETAIL THIS PAGE
ENCASE IN CARFLEX CONDUIT FROM EGB TO SHELTER
GROUND RING (2) REQ'D.
- M. SURGE ARRESTOR/POLY PHASER
- N. INTERIOR SHELTER GROUND BAR / MASTER GROUND BAR
(MGB);
SEE DETAIL THIS PAGE
- O. #2 BARE SOLID TINNED, ENCASE IN CARFLEX CONDUIT
FROM MGB TO SHELTER GROUND RING (2) REQ'D.;
SEE DETAIL THIS PAGE
- P. ICE BRIDGE POST GROUNDS;
#2 BARE SOLID TINNED ENCASE IN CARFLEX CONDUIT TO 24"
BELOW GRADE;
SEE E-502 FOR DETAILS
- Q. ICE BRIDGE SECTION GROUNDS;
#6 STRANDED INSULATED
2 HOLE LONG BARREL ON EACH END (TYP.)
- R. ICE BRIDGE SECTION TO POST GROUNDS;
#6 STRANDED INSULATED
2 HOLE LONG BARREL ON SECTION & CADWELD TO POST
ORIENT LEAD WITH HIGH SIDE TOWARDS TOWER
- S. ENTRY PANEL GROUND;
#6 STRANDED INSULATED
2 HOLE LONG BARREL ON EACH END (TYP.)

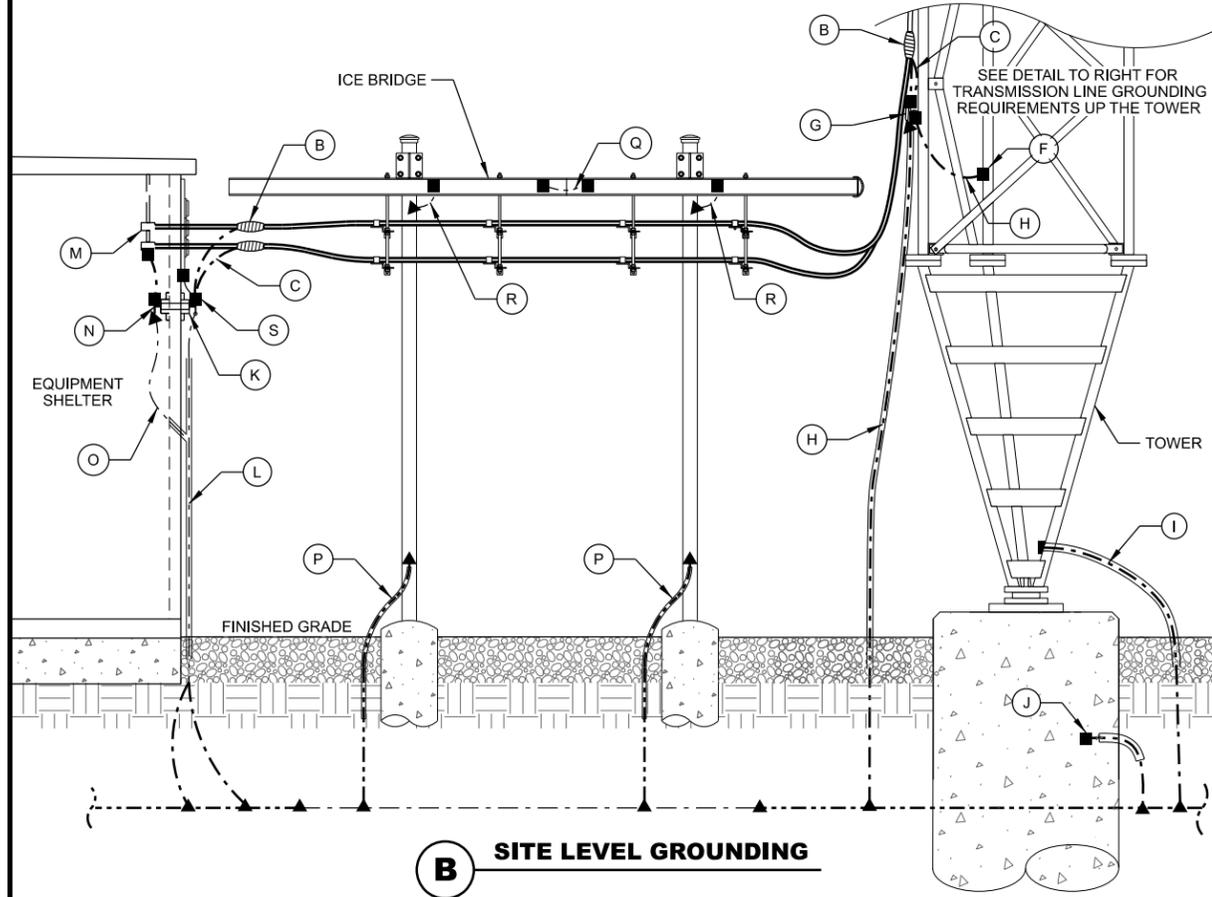


A ANTENNA LEVEL GROUNDING

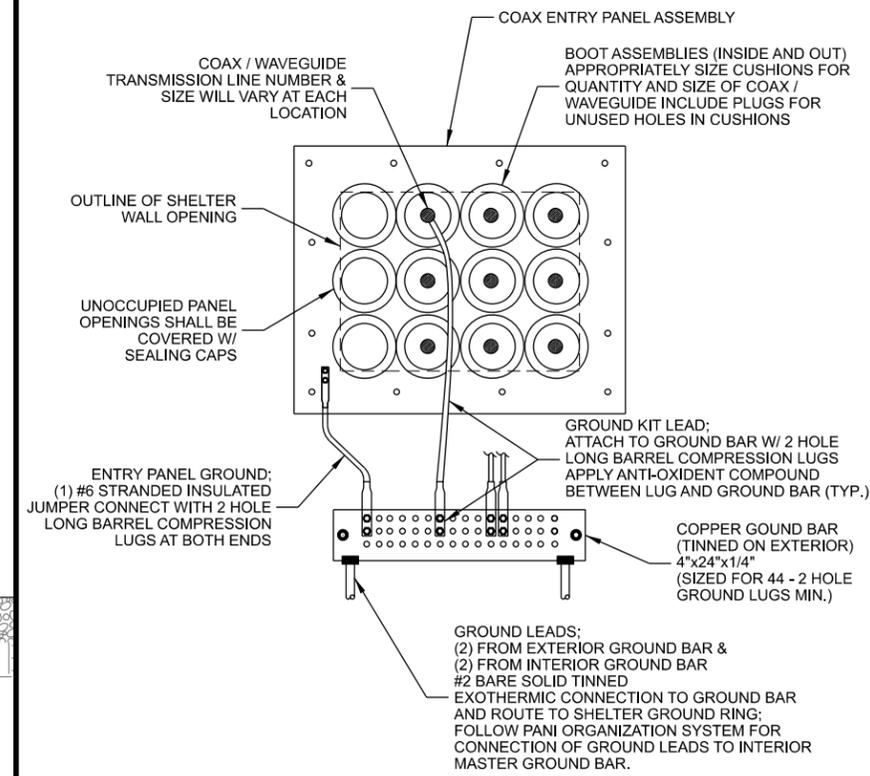


- NOTES:**
- INSTALL GROUND KITS ON EACH TRANSMISSION LINE IN THE FOLLOWING LOCATIONS:
 - A. ANTENNA / DISH LEVEL
 - B. AT 75 FOOT MAX INTERVALS FROM ANTENNA LEVEL TO BASE OF TOWER
 - C. TOWER BASE
 - D. EQUIPMENT BUILDING ENTRY
 - INSTALL ANTENNA GROUND BARS AT EACH ANTENNA TIER LEVEL FOR CONNECTION OF MULTIPLE ANTENNAS AT EACH LEVEL. WHEN ONLY ONE ANTENNA IS INSTALLED AT A LEVEL, CONNECT GROUND KIT DIRECTLY TO TOWER STEEL WITH UL LISTED BONDING CLAMP.

C TRANSMISSION LINE GROUNDING



B SITE LEVEL GROUNDING



D INTERIOR / EXTERIOR SHELTER GROUND BARS

CONSULTANT:
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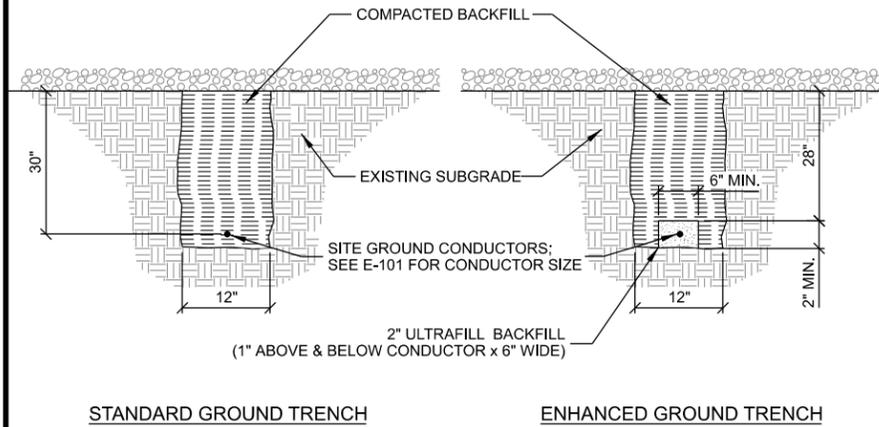
CLIENT:
**GROUNDING DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN**

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

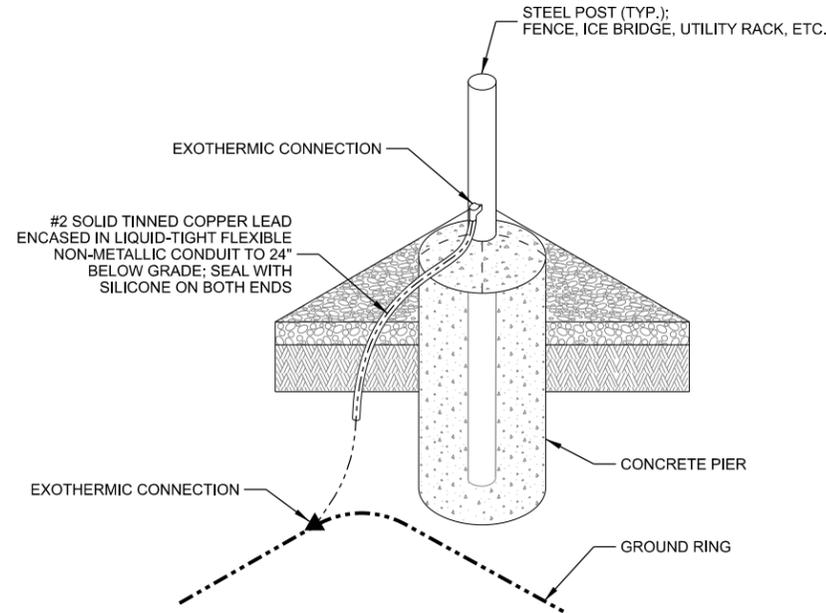
CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	E-501

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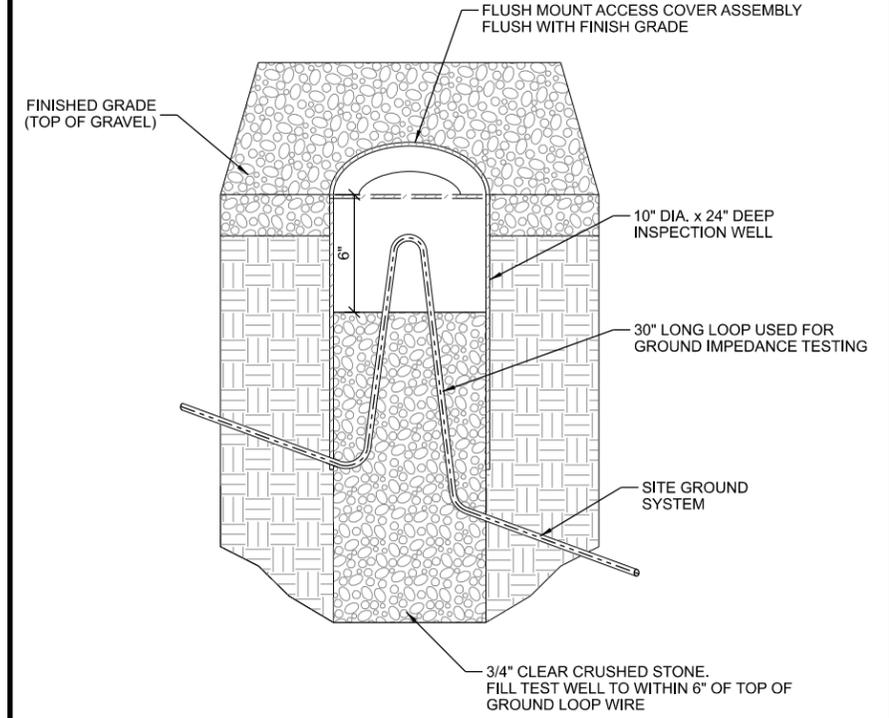


- NOTES:
- GROUNDING TRENCHES TO BE BACK FILLED WITH NATIVE SOIL.
 - COMPACT BACK FILL TO 95% MODIFIED PROCTOR.

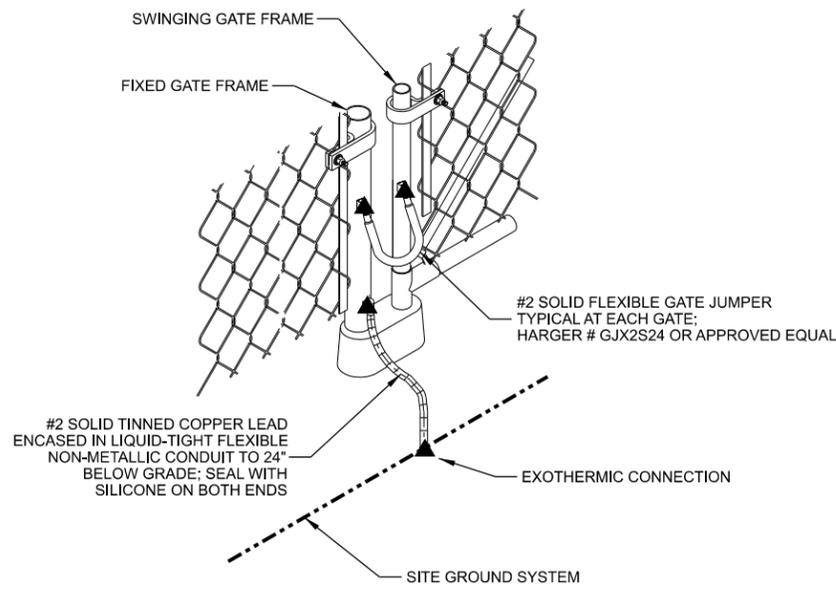
A GROUNDING TRENCH



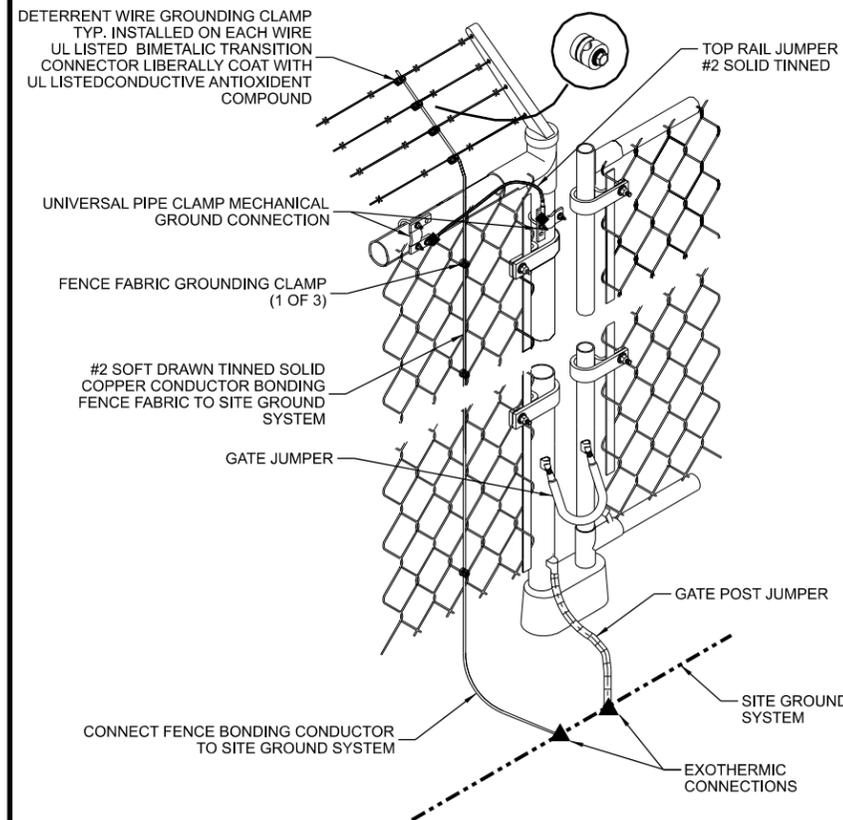
B STEEL POST GROUNDING



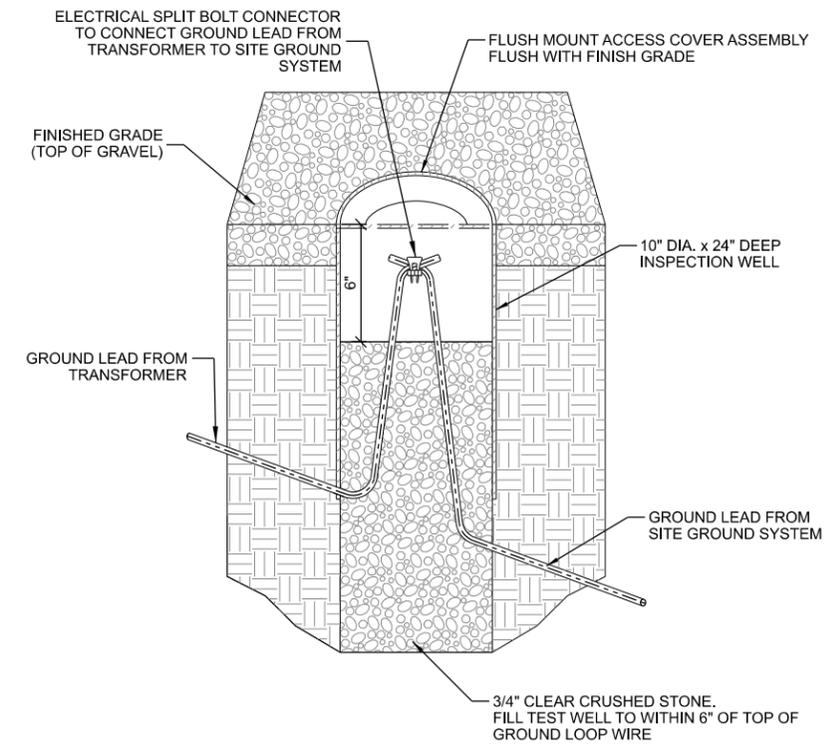
C GROUND TEST WELL



D FENCE GATE GROUNDING



E FENCE FABRIC AND DETERRENT WIRING BONDING



F TRANSFORMER GROUND DISCONNECT

CONSULTANT:
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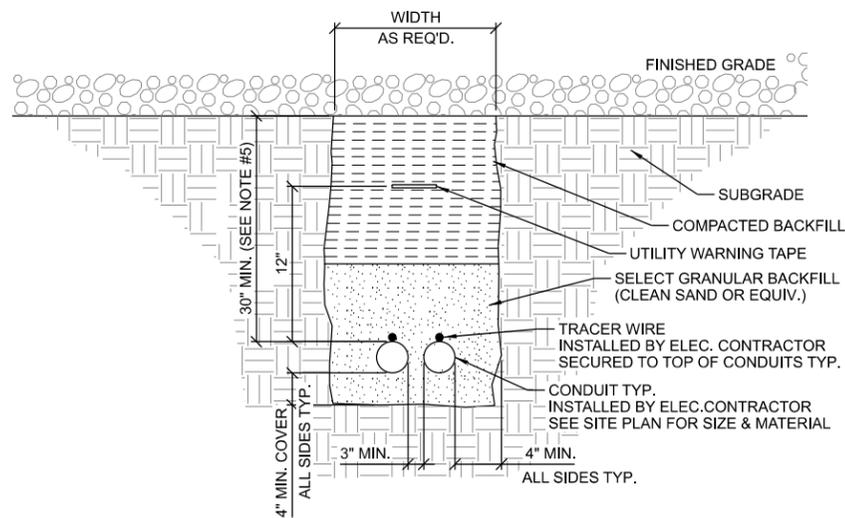


GROUNDING DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

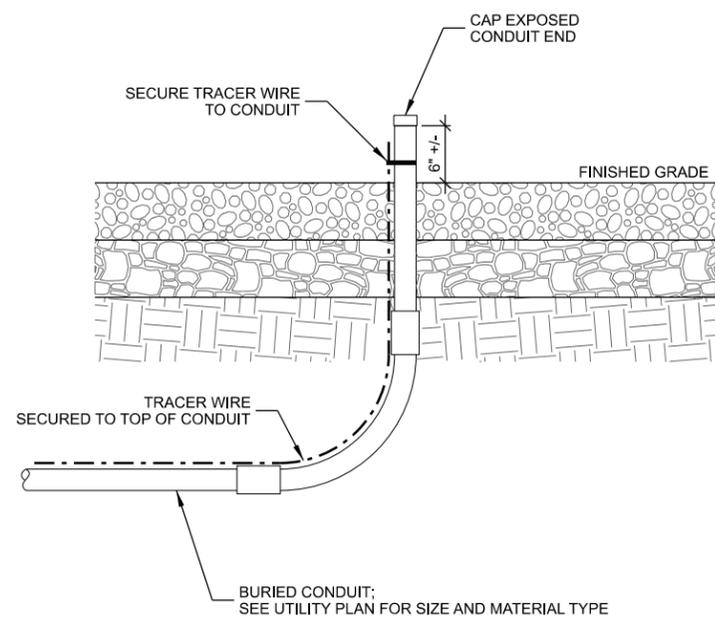
INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	E-502

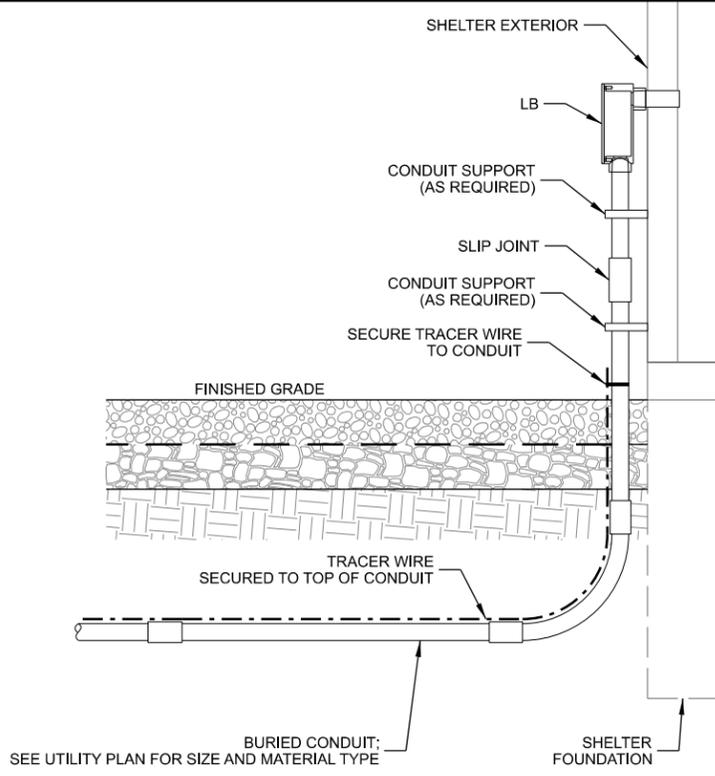


- NOTES:
1. ALL CONDUITS TO BE EQUIPPED W/ PULL CORDS & CAPPED FOR FUTURE LINE PULLS. NO DUCT TAPE CAPS ALLOWED
 2. WARNING TAPE TO RUN CONTINUOUSLY ALONG THE ENTIRE CONDUIT LENGTH. INSTALL TAPE 12" ABOVE THE TOP OF THE CONDUITS.
 3. TRACER WIRE TO BE 14 GA. SOLID COPPER WIRE WITH CORROSION PROTECTIVE COATING. SECURE TO TOP OF CONDUIT AND RUN CONTINUOUSLY ALONG THE ENTIRE LENGTH. EXTEND TO GRADE AT BOTH ENDS - LOOP AND WRAP AROUND APPROPRIATE CONDUIT.
 4. CONTRACTOR TO CHECK CONTINUITY OF TRACER WIRE BEFORE AND AFTER BURIAL.
 5. VERIFY CONDUIT DEPTH REQUIREMENTS WITH LOCAL UTILITY PROVIDER.

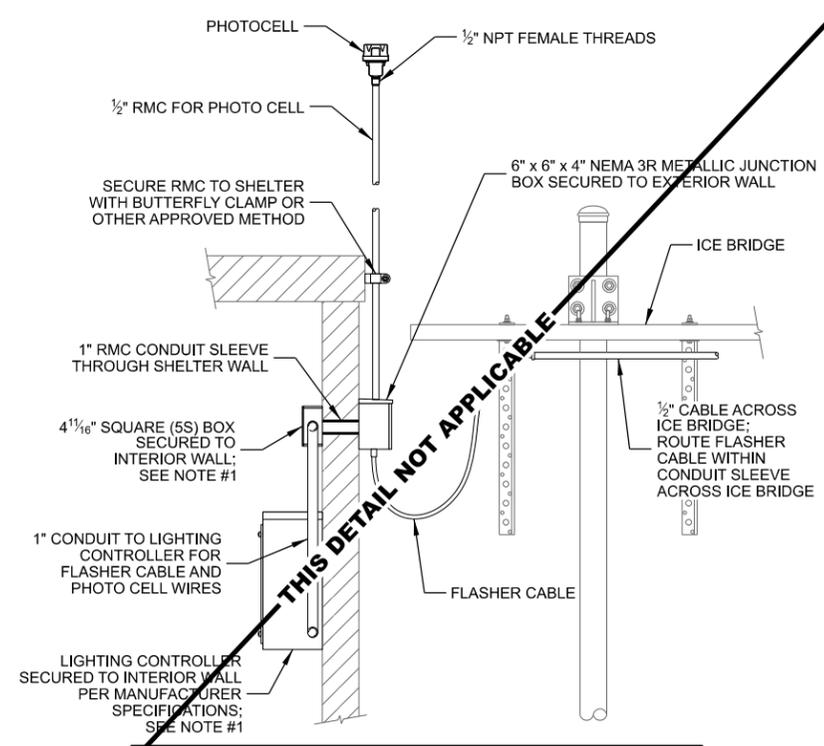
A UTILITY TRENCH



B CONDUIT STUB-UP



C CONDUIT STUB-UP AT SHELTER



- NOTES:
1. PROVIDE GROUND BOND FROM LIGHTING CONTROLLER BOX AND INTERIOR JUNCTION BOX TO INTERIOR GROUND HALO SYSTEM.

D TOWER LIGHTING INSTALLATION

THIS SPACE INTENTIONALLY LEFT BLANK

CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53578
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com



CLIENT:
UTILITY DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	9/9/2021
PROJECT NUMBER:	27651
SET TYPE:	CB2
SHEET NUMBER:	E-504

Mo Hansen

From: Mo Hansen
Sent: Wednesday, September 01, 2021 7:40 AM
To: 'Barry Sorenson (bsorenson@wppienergy.org)'; 'City of Waterloo, Mayor'; 'dpsorenson@waterloowi.us'; 'dpw@waterloowi.us'; 'wbenisch@waterloofd.com'; Chris Butschke; Leisses, Mitchell
Cc: Mike Tschanz; Jeanne Ritter; Eric Rhynes; Jason Schoenwetter (alder1@waterloowi.us); Kuhl Charles (alderatlargea@waterloowi.us); Mike Tschanz (mtschanz@waterloowi.us); Petts Jeanette (alder4-5@waterloowi.us); Rich Weihert (alderatlargeb@waterloowi.us); Ron Griffin (griffinrepair@gmail.com); Thomas Tim (alder3@waterloowi.us); Barry Sorenson; Lindsay Reynolds ; Mike Lannoy (bmlannoy@charter.net); Robert Crosby
Subject: FW: CSMs for Preliminary Review City of Waterloo
Attachments: CSM Lot 32.pdf; CSM Lot 33.pdf; CSM Lot 39.pdf

Municipal Staff & Service Providers:

This is notice that an application has been received and is available for internal municipal review – Certified Survey Map / multiple locations along McKay Way (Arc Design representing Petry Trust).

1. Submitted item: Attached.
2. Please route review comments to – Clerk/Treasurer Office via email by September 21, 2021. **If you feel the applicant should be contacted immediately because of missing information, or another reason.** Please call or email ASAP.
3. This matter will be before – Plan Commission on September 28, 2021

As an informational courtesy Plan Commissioners & the City Council are CCed. Please note that staff review and subsequent communication back to the applicant may generate submittal iterations.

Mo Hansen | Clerk/Treasurer | [City of Waterloo](#) | 920.478.3025

From: Kyle Bullifin <kbullifin@arcdesign.com>
Sent: Wednesday, September 01, 2021 7:14 AM
To: City Hall <cityhall@waterloowi.us>
Cc: Jeff Linkenheld <jlinkenheld@arcdesign.com>; Lee Sprecher <lsprecher@arcdesign.com>
Subject: CSMs for Preliminary Review City of Waterloo

City of Waterloo,

Attached are 3 Certified Survey Maps for your preliminary review.

We will be mailing out the review fee check shortly.

Kyle Bullifin
Senior Survey Technician



LISTEN COLLABORATE SOLVE

5291 Zenith Parkway
Loves Park, IL 61111
(815) 484-4300 x222
(815) 484-4303 fax

kbullifin@arcdesign.com
www.arcdesign.com



CERTIFIED SURVEY MAP

OF

ALL OF LOT 32 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN

ARC DESIGN
RESOURCES INC.

5291 ZENITH
PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Design Firm License No. 184-001334

STATE OF ILLINOIS)
COUNTY OF WINNEBAGO) ss

I, Lee S. Sprecher, a Professional Land Surveyor, do hereby certify that I have surveyed and mapped a parcel of land being all of Lot 32 of Deyoung Farm, recorded April 12, 2006 in Volume 13 of Plats on Page 24 as Document No. 1197995 in the Register's Office of Jefferson County, Wisconsin being a Subdivision Located in Outlot 169 and 170 of the Assessor's Plat of the Village of Waterloo, and part of the Northeast Quarter and the Southeast Quarter of the Southwest Quarter of Section 7, all of the Northwest Quarter of the Southeast Quarter of Section 7, part of the Southwest Quarter of the Southeast Quarter of Section 7 and part of the Northeast Quarter of the Southeast Quarter of Section 7, all in Township 8 North, Range 13 East, City of Waterloo, Jefferson County, Wisconsin, described as follows:

Commencing at the Northeast Corner of the Northeast Quarter of the Southeast Quarter of said Section 7; thence South 87 degrees 01 minute 09 seconds West along the North line of the Northeast Quarter and the Northwest Quarter of the Southeast Quarter of said Section 7, a distance of 1588.35 feet; thence South 2 degrees 58 minutes 51 seconds East perpendicular to the last described course, a distance of 230.10 feet to the Northeast Corner of Lot 32 of said Deyoung Farm, said point being the Point of Beginning for the hereinafter described parcel of land; thence South 3 degrees 02 minutes 57 seconds East along the East line of said Lot 32 of Deyoung Farm, a distance of 119.97 feet to the Southeast corner thereof; thence South 87 degrees 00 minutes 29 seconds West along the South line of said Lot 32 of Deyoung Farm, a distance of 130.00 feet to the Southwest corner thereof; thence North 3 degrees 02 minutes 03 seconds West along the West line of said Lot 32 of Deyoung Farm, a distance of 99.99 feet to a point of curvature; thence Northeasterly along the West and North line of said Lot 32 of Deyoung Farm along a circular curve to the right whose radius is 20.00 feet and whose center lies to the East, the long chord of which curve bears North 41 degrees 59 minutes 48 seconds East, a chord distance of 28.30 feet; thence North 87 degrees 01 minute 40 seconds East along the North line of said Lot 32 of Deyoung Farm, a distance of 109.95 feet to the Point of Beginning, containing 15,511 square feet, 0.356 acres, more or less, all being situated in the City of Waterloo, Jefferson County, Wisconsin.

That I have made such survey and map by the direction of the Owner of said land and that I have complied fully with the provisions of Section 236.34 of the Wisconsin Statutes in surveying and mapping the same.

That the map is a correct representation of all the exterior boundaries of the land surveyed and the division of that land.

Given under my hand and seal this _____ day of _____, 202__.

Lee S. Sprecher
Wisconsin Professional Land Surveyor No. 2672
Arc Design Resources, Inc.
5291 Zenith Parkway
Loves Park, IL 61111
(815) 484-4300

CERTIFIED SURVEY MAP

OF

ALL OF LOT 32 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN

ARC DESIGN
RESOURCES INC.

5291 ZENITH
PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Design Firm License No. 184-001334

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

OWNERS CERTIFICATE: As owner, I hereby certify that I have caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required by the City of Waterloo, WI

Dated this _____ day of _____, 20__.

Signature

Printed Name

Title

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

NOTARY CERTIFICATE: Personally came before me this this _____ day of _____, 20___. The above named _____, to me known to be the person who executed the foregoing instrument and acknowledge the same.

Signature

Printed Name

Title

My Commission Expires

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

PLANNING AND ZONING COMMITTEE APPROVAL: This Certified Survey Map is hereby approved by the Planning and Zoning Committee of the City of Waterloo, Jefferson County, Wisconsin.

Dated this _____ day of _____, 20__.

Signature

Printed Name

Mayor

Signature

Printed Name

City Clerk/Treasurer

CERTIFIED SURVEY MAP

OF

ALL OF LOT 32 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN



STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

WATERLOO CITY COUNCIL CERTIFICATE: Resolved that this Certified Survey Map, which has been duly filed for the approval of the Waterloo City Council, County of Jefferson, Wisconsin, be and the same, is hereby approved as required by Chapter 236, Wisconsin Statutes.

Dated this _____ day of _____, 20____.

Signature Printed Name Mayor

Signature Printed Name City Clerk/Treasurer

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

CITY OF WATERLOO CLERK/TREASURER CERTIFICATE: As Treasurer of The City of Waterloo, WI. I hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands included in this Certified Survey Map in accordance to records on file in this office.

Dated this _____ day of _____, 20____.

Signature Printed Name City Clerk/Treasurer

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

CITY OF WATERLOO DIRECTOR OF PUBLIC WORKS: As Director of Public Works of the City of Waterloo, WI. I hereby approve of the division of lands included in this Certified Survey Map.

Dated this _____ day of _____, 20____.

Signature Printed Name Director of Public Works

CERTIFIED SURVEY MAP

OF

ALL OF LOT 33 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN

ARC DESIGN
RESOURCES INC.

5291 ZENITH
PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Design Firm License No. 184-001334

STATE OF ILLINOIS)
COUNTY OF WINNEBAGO) ss

I, Lee S. Sprecher, a Professional Land Surveyor, do hereby certify that I have surveyed and mapped a parcel of land being all of Lot 33 of Deyoung Farm, recorded April 12, 2006 in Volume 13 of Plats on Page 24 as Document No. 1197995 in the Register's Office of Jefferson County, Wisconsin being a Subdivision Located in Outlot 169 and 170 of the Assessor's Plat of the Village of Waterloo, and part of the Northeast Quarter and the Southeast Quarter of the Southwest Quarter of Section 7, all of the Northwest Quarter of the Southeast Quarter of Section 7, part of the Southwest Quarter of the Southeast Quarter of Section 7 and part of the Northeast Quarter of the Southeast Quarter of Section 7, all in Township 8 North, Range 13 East, City of Waterloo, Jefferson County, Wisconsin, described as follows:

Commencing at the Northwest Corner of the Northwest Quarter of the Southeast Quarter of said Section 7; thence North 87 degrees 01 minute 09 seconds East along the North line of the Northwest Quarter of the Southeast Quarter of said Section 7, a distance of 768.58 feet; thence South 2 degrees 58 minutes 51 seconds East perpendicular to the last described course, a distance of 230.06 feet to the Northwest Corner of Lot 33 of said Deyoung Farm, said point being the Point of Beginning for the hereinafter described parcel of land; thence North 87 degrees 01 minute 40 seconds East along the North line of said Lot 33 of Deyoung Farm, a distance of 99.98 feet to a point of curvature; thence Southeasterly along the North and East line of said Lot 33 of Deyoung Farm along a circular curve to the right whose radius is 20.00 feet and whose center lies to the West, the long chord of which curve bears South 48 degrees 00 minutes 12 seconds East, a chord distance of 28.27 feet; thence South 03 degrees 02 minutes 03 seconds East along the East line of said Lot 33 of Deyoung Farm, a distance of 129.96 feet to the Southeast corner thereof; thence South 87 degrees 04 minutes 33 seconds West along the South line of said Lot 33 of Deyoung Farm, a distance of 120.13 feet to the Southwest corner thereof; thence North 2 degrees 58 minutes 00 seconds West along the West line of said Lot 33 of Deyoung Farm, a distance of 149.84 feet to the Point of Beginning, containing 17,909 square feet, 0.411 acres, more or less, all being situated in the City of Waterloo, Jefferson County, Wisconsin.

That I have made such survey and map by the direction of the Owner of said land and that I have complied fully with the provisions of Section 236.34 of the Wisconsin Statutes in surveying and mapping the same.

That the map is a correct representation of all the exterior boundaries of the land surveyed and the division of that land.

Given under my hand and seal this _____ day of _____, 202_____.

Lee S. Sprecher
Wisconsin Professional Land Surveyor No. 2672
Arc Design Resources, Inc.
5291 Zenith Parkway
Loves Park, IL 61111
(815) 484-4300

CERTIFIED SURVEY MAP

OF

ALL OF LOT 33 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN

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Design Firm License No. 184-001334

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

OWNERS CERTIFICATE: As owner, I hereby certify that I have caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required by the City of Waterloo, WI

Dated this _____ day of _____, 20__.

Signature

Printed Name

Title

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

NOTARY CERTIFICATE: Personally came before me this this _____ day of _____, 20___. The above named _____, to me known to be the person who executed the foregoing instrument and acknowledge the same.

Signature

Printed Name

Title

My Commission Expires

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

PLANNING AND ZONING COMMITTEE APPROVAL: This Certified Survey Map is hereby approved by the Planning and Zoning Committee of the City of Waterloo, Jefferson County, Wisconsin.

Dated this _____ day of _____, 20__.

Signature

Printed Name

Mayor

Signature

Printed Name

City Clerk/Treasurer

CERTIFIED SURVEY MAP

OF

ALL OF LOT 33 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN



STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

WATERLOO CITY COUNCIL CERTIFICATE: Resolved that this Certified Survey Map, which has been duly filed for the approval of the Waterloo City Council, County of Jefferson, Wisconsin, be and the same, is hereby approved as required by Chapter 236, Wisconsin Statutes.

Dated this _____ day of _____, 20____.

Signature

Printed Name

Mayor

Signature

Printed Name

City Clerk/Treasurer

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

CITY OF WATERLOO CLERK/TREASURER CERTIFICATE: As Treasurer of The City of Waterloo, WI. I hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands included in this Certified Survey Map in accordance to records on file in this office.

Dated this _____ day of _____, 20____.

Signature

Printed Name

City Clerk/Treasurer

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

CITY OF WATERLOO DIRECTOR OF PUBLIC WORKS: As Director of Public Works of the City of Waterloo, WI. I hereby approve of the division of lands included in this Certified Survey Map.

Dated this _____ day of _____, 20____.

Signature

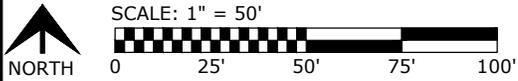
Printed Name

Director of Public Works

CERTIFIED SURVEY MAP

OF

ALL OF LOT 39 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN



KEY LEGEND:

- Set Monument: Set Monument: 3/4" Rebar (1.5 LBS / LF)
- Set Monument: Set Monument: 1 1/4" Rebar (4.3 LBS / LF)
- Found Monument: See Map for Monument Material

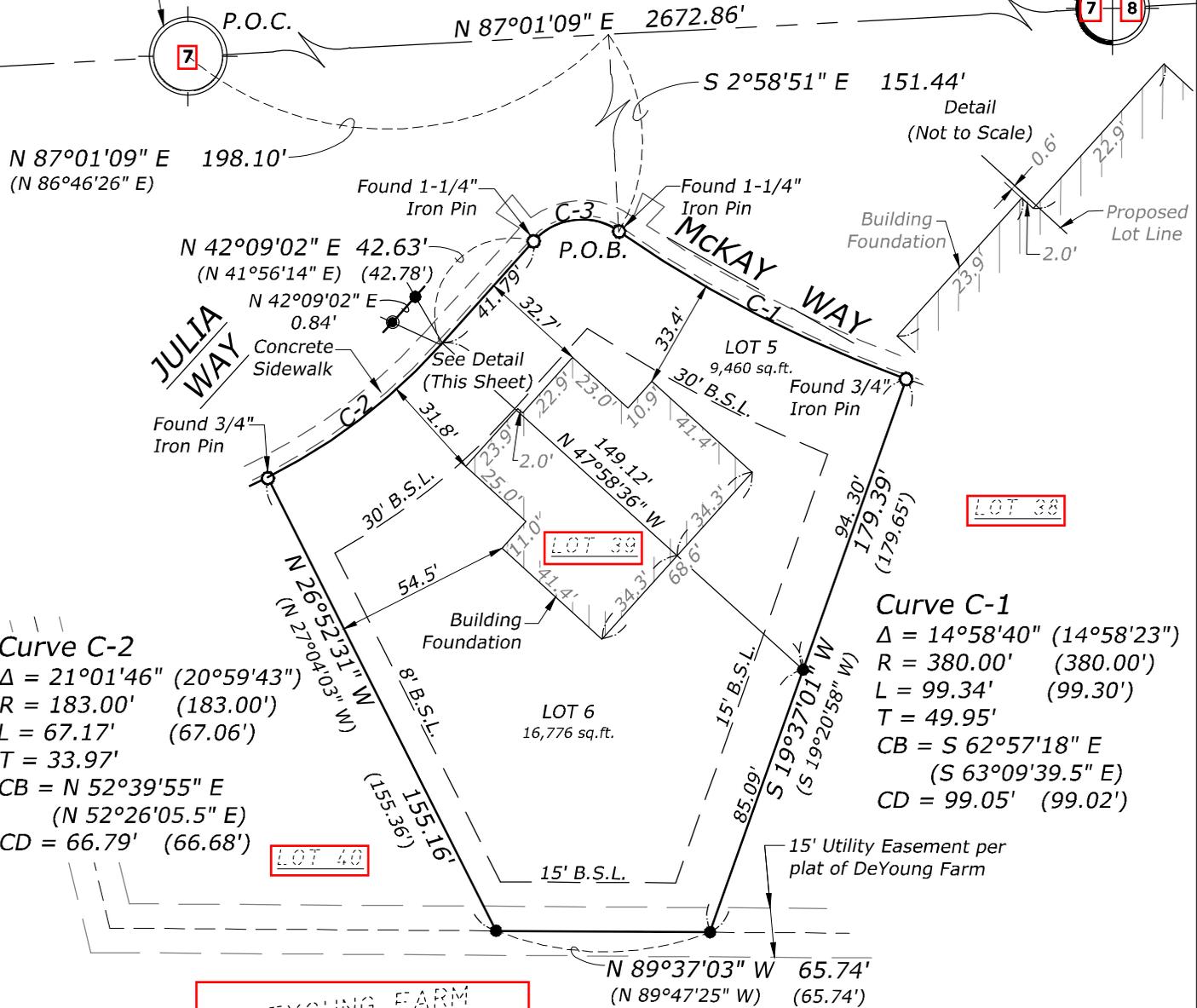


Section Corner Monument

Basis of Bearing is the North Line of the Southeast Quarter of Section 7-8-13 which as measured bears S 87°01'09" W. Bearing determination based upon G.P.S. observations of the Section Corners referenced to the Jefferson County Coordinate System - NAD 83 (2007).

Found Aluminum Monument Land Corner Record for Corner No. 9391 calls for a Brass Cap
Coordinate values differ by -0.001 in the Northing and 0.201 in the Easting, measured vs. record

Found 1 1/2" Iron Pipe 0.51' South and 3.28' East of the of the DeYoung Farm location for the Center of Section which is 0.51' South and 3.09' East of the intersection of the North / South and East / West Quarter Section Lines



Curve C-2
 $\Delta = 21^\circ 01' 46''$ ($20^\circ 59' 43''$)
 $R = 183.00'$ ($183.00'$)
 $L = 67.17'$ ($67.06'$)
 $T = 33.97'$
 $CB = N 52^\circ 39' 55'' E$
 ($N 52^\circ 26' 05.5'' E$)
 $CD = 66.79'$ ($66.68'$)

Curve C-1
 $\Delta = 14^\circ 58' 40''$ ($14^\circ 58' 23''$)
 $R = 380.00'$ ($380.00'$)
 $L = 99.34'$ ($99.30'$)
 $T = 49.95'$
 $CB = S 62^\circ 57' 18'' E$
 ($S 63^\circ 09' 39.5'' E$)
 $CD = 99.05'$ ($99.02'$)

DEYOUNG FARM
 Recorded April 12, 2006 in Volume 13 of
 Plats on Page 24, as Document No. 1197995

Curve C-3
 $\Delta = 82^\circ 23' 00''$ ($82^\circ 23' 18''$)
 $R = 20.00'$ ($20.00'$)
 $L = 28.76'$ ($31.42'$)
 $T = 17.50'$
 $CB = N 83^\circ 20' 32'' E$
 ($N 83^\circ 07' 53'' E$)
 $CD = 26.34'$ ($26.34'$)

CERTIFIED SURVEY MAP

OF

ALL OF LOT 39 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN



STATE OF ILLINOIS)
COUNTY OF WINNEBAGO) ss

I, Lee S. Sprecher, a Professional Land Surveyor, do hereby certify that I have surveyed and mapped a parcel of land being all of Lot 39 of Deyoung Farm, recorded April 12, 2006 in Volume 13 of Plats on Page 24 as Document No. 1197995 in the Register's Office of Jefferson County, Wisconsin being a Subdivision Located in Outlot 169 and 170 of the Assessor's Plat of the Village of Waterloo, and part of the Northeast Quarter and the Southeast Quarter of the Southwest Quarter of Section 7, all of the Northwest Quarter of the Southeast Quarter of Section 7, part of the Southwest Quarter of the Southeast Quarter of Section 7 and part of the Northeast Quarter of the Southeast Quarter of Section 7, all in Township 8 North, Range 13 East, City of Waterloo, Jefferson County, Wisconsin, described as follows:

Commencing at the Northwest Corner of the Northwest Quarter of the Southeast Quarter of said Section 7; thence North 87 degrees 01 minute 09 seconds East along the North line of the Northwest Quarter of the Southeast Quarter of said Section 7, a distance of 198.10 feet; thence South 2 degrees 58 minutes 51 seconds East perpendicular to the last described course, a distance of 151.44 feet to a point of curvature in the North line of Lot 39 of said Deyoung Farm, said point being the Point of Beginning for the hereinafter described parcel of land; thence Southeasterly along the North line of said Lot 39 of Deyoung Farm along a circular curve to the left whose radius is 380.00 feet and whose center lies to the Northeast, the long chord of which curve bears South 62 degrees 57 minutes 18 seconds East, a chord distance of 99.05 feet to the Northeast Corner of thereof; thence South 19 degrees 37 minutes 01 second West along the East line of said Lot 39 of Deyoung Farm, a distance of 179.39 feet to the Southeast corner thereof; thence North 89 degrees 37 minutes 03 seconds West along the South line of said Lot 39 of Deyoung Farm, a distance of 65.74 feet to the Southwest corner thereof; thence North 26 degrees 52 minutes 31 seconds West along the West line of said Lot 39 of Deyoung Farm, a distance of 155.16 feet to the Northwest corner thereof; thence Northeasterly along the North line of said Lot 39 of Deyoung Farm along a circular curve to the left whose radius is 183.00 feet and whose center lies to the Northwest, the long chord of which curve bears North 52 degrees 39 minutes 55 seconds East, a chord distance of 66.79 feet; thence North 42 degrees 09 minutes 02 seconds East along the North line of said Lot 39 of Deyoung Farm, a distance of 42.63 feet to a point of curvature; thence Northeasterly along the North line of said Lot 39 of Deyoung Farm along a circular curve to the right whose radius is 20.00 feet and whose center lies to the South, the long chord of which curve bears North 83 degrees 20 minutes 32 seconds East, a chord distance of 26.34 feet to the Point of Beginning, containing 26,236 square feet, 0.602 acres, more or less, all being situated in the City of Waterloo, Jefferson County, Wisconsin.

That I have made such survey and map by the direction of the Owner of said land and that I have complied fully with the provisions of Section 236.34 of the Wisconsin Statutes in surveying and mapping the same.

That the map is a correct representation of all the exterior boundaries of the land surveyed and the division of that land.

Given under my hand and seal this _____ day of _____, 202_____.

Lee S. Sprecher
Wisconsin Professional Land Surveyor No. 2672
Arc Design Resources, Inc.
5291 Zenith Parkway
Loves Park, IL 61111
(815) 484-4300

CERTIFIED SURVEY MAP

OF

ALL OF LOT 39 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN



STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

OWNERS CERTIFICATE: As owner, I hereby certify that I have caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required by the City of Waterloo, WI

Dated this _____ day of _____, 20__.

Signature Printed Name Title

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

NOTARY CERTIFICATE: Personally came before me this this _____ day of _____, 20___. The above named _____, to me known to be the person who executed the foregoing instrument and acknowledge the same.

Signature Printed Name Title

My Commission Expires _____

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

PLANNING AND ZONING COMMITTEE APPROVAL: This Certified Survey Map is hereby approved by the Planning and Zoning Committee of the City of Waterloo, Jefferson County, Wisconsin.

Dated this _____ day of _____, 20__.

Signature Printed Name Mayor

Signature Printed Name City Clerk/Treasurer

CERTIFIED SURVEY MAP

OF

ALL OF LOT 39 OF DEYOUNG FARM, BEING A SUBDIVISION LOCATED IN OUTLOT 169 AND 170 OF THE ASSESSOR'S PLAT OF THE VILLAGE OF WATERLOO, AND PART OF THE NORTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, ALL IN TOWNSHIP 8 NORTH, RANGE 13 EAST, CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN



STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

WATERLOO CITY COUNCIL CERTIFICATE: Resolved that this Certified Survey Map, which has been duly filed for the approval of the Waterloo City Council, County of Jefferson, Wisconsin, be and the same, is hereby approved as required by Chapter 236, Wisconsin Statutes.

Dated this _____ day of _____, 20____.

Signature Printed Name Mayor

Signature Printed Name City Clerk/Treasurer

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

CITY OF WATERLOO CLERK/TREASURER CERTIFICATE: As Treasurer of The City of Waterloo, WI. I hereby certify that there are no unpaid taxes or unpaid special assessments on any of the lands included in this Certified Survey Map in accordance to records on file in this office.

Dated this _____ day of _____, 20____.

Signature Printed Name City Clerk/Treasurer

STATE OF WISCONSIN)
COUNTY OF JEFFERSON) ss

CITY OF WATERLOO DIRECTOR OF PUBLIC WORKS: As Director of Public Works of the City of Waterloo, WI. I hereby approve of the division of lands included in this Certified Survey Map.

Dated this _____ day of _____, 20____.

Signature Printed Name Director of Public Works

REVISED August 10, 2021

Mr. Mo Hanson
Clerk/Treasurer
City of Waterloo
136 N Monroe Street
Waterloo, WI 53594

Via email only: mhansen@waterloowi.us

**RE: zoning change request
Part of Plat 1 of DeYoung Farm**

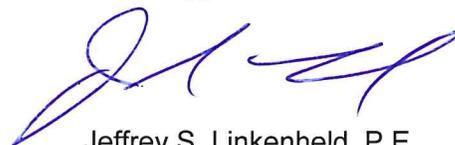
Dear Mr. Hansen:

On behalf of our client, JGP Development, LLC, please find a legal description and exhibit showing the current multi-family area of Plat 1 of the DeYoung Farm that we are requesting to rezone from R-2 to PDD district.

Per our discussion, the rezoning of these lots will allow us to be able to sell the properties as condominium units instead of leaving them as rentals. We feel that the rezoning would allow for flexibility of the market and the potential to have owner occupied units should be considered a net benefit to the community.

Please proceed with placing this matter on the next available plan commission meeting. We understand that the City will be publishing formal notice for the zoning change. Let me know if any further information is needed from us at this time.

Sincerely,



Jeffrey S. Linkenheld, P.E.

Enc: area exhibit
Legal description

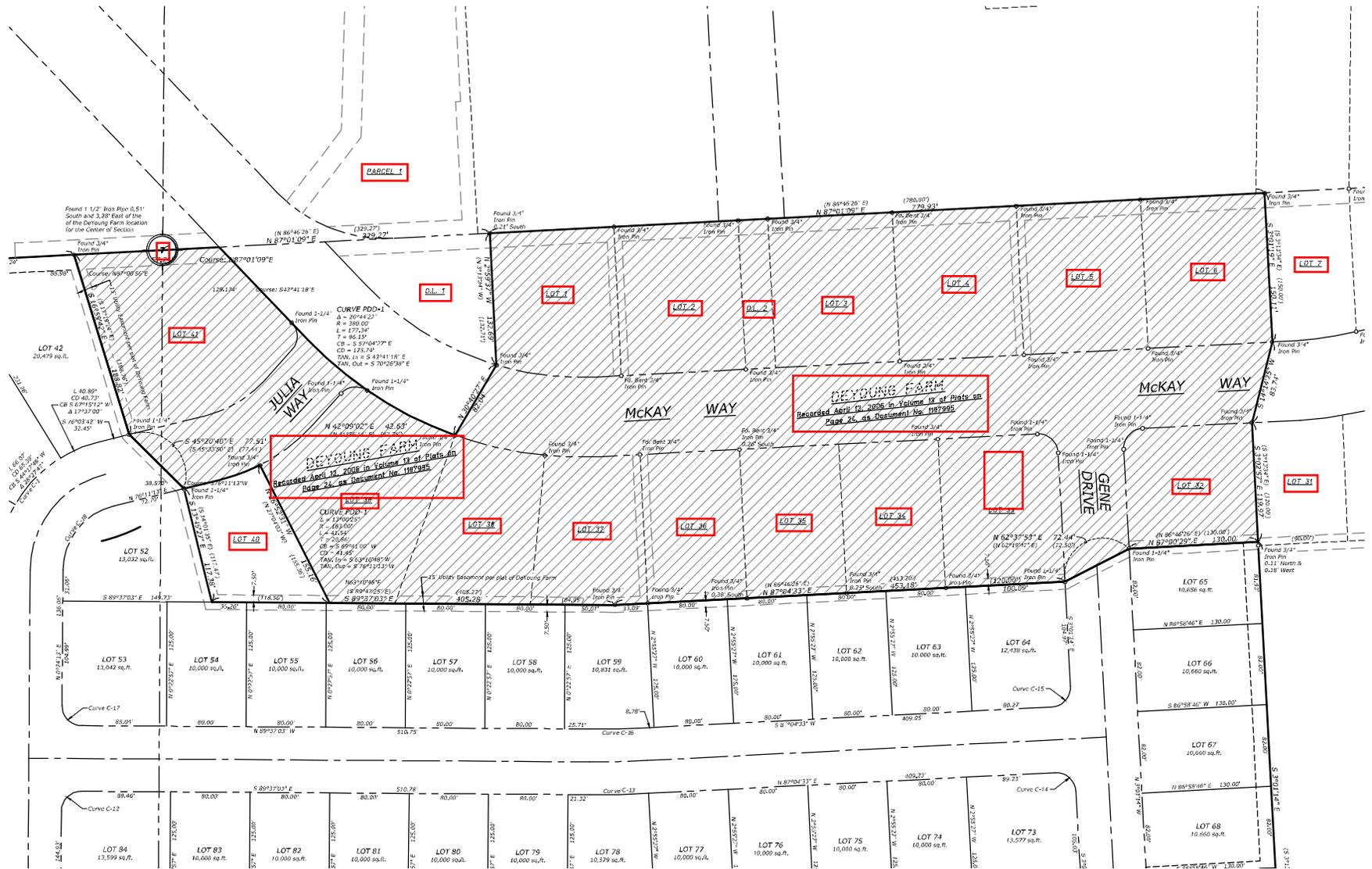
C: Jeff Petry, Mike Haegele

Property to be Re-Zoned from R-2 to PDD in Waterloo Wisconsin

A parcel of land being Lots 1 through 6 inclusive, 33 through 39 inclusive, Lot 41, Outlot 2, that portion of Gene Drive lying South of McKay Way, that portion of Julia Way lying South of McKay Way and that portion of McKay Way lying between a line drawn from the Northeast corner of Lot 39 to the Southwest corner of Lot 1 and a line drawn from the Southeast corner of Lot 6 to the Northwest corner of Lot 32 as designated upon DeYoung Farm, being a subdivision of Outlot 169 and 170 of the Assessor's Plat of the Village of Waterloo, and Part of the Northeast Quarter and the Southeast Quarter of the Southwest Quarter of Section 7, all of the Northwest Quarter of the Southeast Quarter of Section 7, part of the Southwest Quarter of the Southeast Quarter of Section 7 and part of the Northeast Quarter of the Southeast Quarter of Section 7, all in Township 8 North, Range 13 East, the plat of which subdivision was recorded April 12, 2006 in Volume 13 of Plats on Page 24 as Document No. 1197995 in the Register's Office of Jefferson County, Wisconsin, described as follows:

Beginning at the Northwest corner of the Northwest Quarter of the Southeast Quarter of said Section 7; thence North 87 degrees 01 minute 09 seconds East along the North line of the of the Northwest Quarter of the Southeast Quarter of said Section 7 and the North line of said Lot 41 of said DeYoung Farm, a distance of 57.24 feet to the Southwesterly line of a public road designated McKay Way; thence South 43 degrees 41 minutes 18 seconds East along the East line of said Lot 41 and the Southwesterly line of said McKay Way, a distance of 129.17 feet to a point of curvature; thence Southeasterly along the Southerly line of said McKay Way and the Northerly line of said Lot 39 along a circular curve to the left whose radius is 380.00 feet and whose center lies to the North, the long chord of which curve bears South 57 degrees 04 minutes 27 seconds East, a chord distance of 175.74 feet to the Northeast corner of said Lot 39; thence North 30 degrees 40 minutes 27 seconds East, a distance of 82.04 feet to the Southwest corner of said Lot 1; thence North 2 degrees 59 minutes 37 seconds West along the West line of said Lot 1, a distance of 132.69 feet to the Northwest corner thereof; thence North 87 degrees 01 minute 09 seconds East along the North line of the of the Northwest Quarter of the Southeast Quarter of said Section 7 and the North line of said DeYoung Farm, a distance of 779.93 feet to the Northeast corner of said Lot 6; thence South 3 degrees 01 minute 19 seconds East along the East line of said Lot 6, a distance of 150.11 feet to the Southeast corner thereof, said point lying in the Northerly line of said McKay Way; thence South 14 degrees 14 minutes 25 seconds West, a distance of 83.74 feet to the Northeast corner of said Lot 32, said point lying in the Southerly line of said McKay Way; thence South 3 degrees 02 minutes 57 seconds East along the East line of said Lot 32, a distance of 119.97 feet to the Southeast corner thereof; thence South 87 degrees 00 minutes 29 seconds West along the South line of said Lot 32, a distance of 130.00 feet to the Southwest corner thereof, said point also being the Southeast corner of a public road designated Gene Drive; thence South 62 degrees 37 minutes 53 seconds West along the Southerly line of said Gene Drive, a distance of 72.44 feet to the Southwest corner of said Gene Drive, said point also being the Southeast corner of said Lot 33; thence South 87 degrees 04 minutes 33 seconds West along the Southerly line of said Lots 33

through 37 inclusive, a distance of 453.18 feet to an angle point in the Southerly line of said Lot 37; thence North 89 degrees 37 minutes 03 seconds West along the Southerly line of said Lots 37, 38 and 39, a distance of 286.72 feet to the Southwest corner of said Lot 39; thence North 26 degrees 52 minutes 31 seconds West along the Westerly line of said Lot 39, a distance of 155.16 feet to the Northwest corner thereof, said point also being in the Easterly line of a public road designated Julia Way; thence Southwesterly along the Easterly line of said Julia Way and the Northerly line of Lot 40 of said DeYoung Farm along a circular curve to the right whose radius is 183.00 feet and whose center lies to the Northwest, the long chord of which curve bears South 69 degrees 41 minutes 00 seconds West, a chord distance of 41.45 feet; thence South 76 degrees 11 minutes 13 seconds West along the Easterly line of said Julia Way and the Northerly line of said Lot 40, a distance of 38.57 feet to the Southwest corner of said Julia Way, said point also being the Northeast corner of said Lot 40; thence North 45 degrees 20 minutes 40 seconds West along the Westerly line of said Julia Way, a distance of 77.51 feet to the Northwest corner thereof, said point also being the Southwest corner of Lot 41 of said DeYoung Farm; thence North 16 degrees 59 minutes 42 seconds West along the Westerly line of said Lot 41, a distance of 188.82 feet to the Northwest corner thereof; thence North 87 degrees 00 minutes 56 seconds East along the North line of said Lot 41 and the North line of the Northwest Quarter of said Section 7, a distance of 88.98 feet to the Point of Beginning, containing 369,996 square feet, 8.494 acres, more or less, all being situated in the City of Waterloo, Jefferson County, Wisconsin.



DEWEY & ASSOCIATES, INC.
Registered April 17, 2006 in Volume 19 of Plats on
Page 24 as Document No. 1187998

DEWEY & ASSOCIATES, INC.
Registered April 12, 2005 in Volume 18 of Plats on
Page 24 as Document No. 1187995

PARCEL 1

LOT 42
20,479 sq. ft.

LOT 52
12,032 sq. ft.

LOT 53
13,042 sq. ft.

LOT 54
10,000 sq. ft.

LOT 55
10,000 sq. ft.

LOT 56
10,000 sq. ft.

LOT 57
10,000 sq. ft.

LOT 58
10,000 sq. ft.

LOT 59
10,832 sq. ft.

LOT 60
10,000 sq. ft.

LOT 61
10,000 sq. ft.

LOT 62
10,000 sq. ft.

LOT 63
10,000 sq. ft.

LOT 64
12,439 sq. ft.

LOT 65
10,656 sq. ft.

LOT 66
10,660 sq. ft.

LOT 67
10,660 sq. ft.

LOT 68
10,660 sq. ft.

LOT 84
13,999 sq. ft.

LOT 83
10,000 sq. ft.

LOT 82
10,000 sq. ft.

LOT 81
10,000 sq. ft.

LOT 80
10,000 sq. ft.

LOT 79
10,000 sq. ft.

LOT 78
10,579 sq. ft.

LOT 77
10,000 sq. ft.

LOT 76
10,000 sq. ft.

LOT 75
10,000 sq. ft.

LOT 74
10,000 sq. ft.

LOT 73
13,577 sq. ft.

LOT 7

LOT 31

LOT 32

LOT 33

LOT 34

LOT 35

LOT 36

LOT 37

LOT 38

LOT 39

LOT 40

LOT 41

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LOT 190



136 North Monroe Street
Waterloo, WI 53594
Phone: (920) 478-3025
Fax: (920) 478-2021
www.waterloowi.us

9/28/21 MTG

APPLICATION FOR CONDITIONAL USE PERMIT
(Review and Action by City Plan Commission/Common Council)

Number: _____ Date Filed: _____ Fee Paid: 285.⁰⁰ 8/19/21

Location of Property: 1113 Lum Ave, Waterloo

Applicant: Kathy Zweig

Address: Same As Applicant Telephone: 920-285-4775

Owner of Property: Same as Applicant

Address: 1113 Lum Ave Telephone: 920-285-4775

Contractor: Fitzgerald and Sons Construction

Address: 217 Maple Drive, Waterloo, WI 53594 Telephone: 920-988-1698

Architect or Professional Engineer: n/a

Address: n/a Telephone: n/a

Legal Description of Property: Lot #4 Trexburn Farms City of Waterloo,
Jefferson County WI

Land Parcel Size: 12,500 Present Use: single family Zoning District: R2

Type of Existing Structure (if any): Single family home w/ Attached garage

Proposed Use of the Structure or Site: Storage Number of Employees: —

Terms of Municipal Code

Conditional Use Requested

385-8.A.

385-8A.B.(7) Additional >2000

Specify Reason(s) for Application: (for example, insufficient lot area, setback, etc.)

adding a detached garage in backyard. size over normal allowance.

ATTACH THE FOLLOWING:

Site Plan showing the area involved, its location, dimensions, elevations, drainage, parking, etc., and location of adjacent structures within 200 feet.

Date: Nov 18 20 21

Kathy Zweig
Signature of Applicant



BIRRENKOTT SURVEYING, INC.

P.O. Box 237
1677 N. Bristol Street
Sun Prairie, WI, 53590
Phone (608) 837-7463
Fax (608) 837-1081

PLAT OF SURVEY - PLOT PLAN

SURVEYOR'S CERTIFICATE:

I, Daniel V. Birrenkott, hereby certify that this survey is in compliance of Wisconsin Administrative Code. I also certify that I have surveyed and mapped the lands described hereon and that the map is a correct representation in accordance with the information provided.

[Signature]

Daniel V. Birrenkott
Wisconsin Registered Land Surveyor No. S-1531.

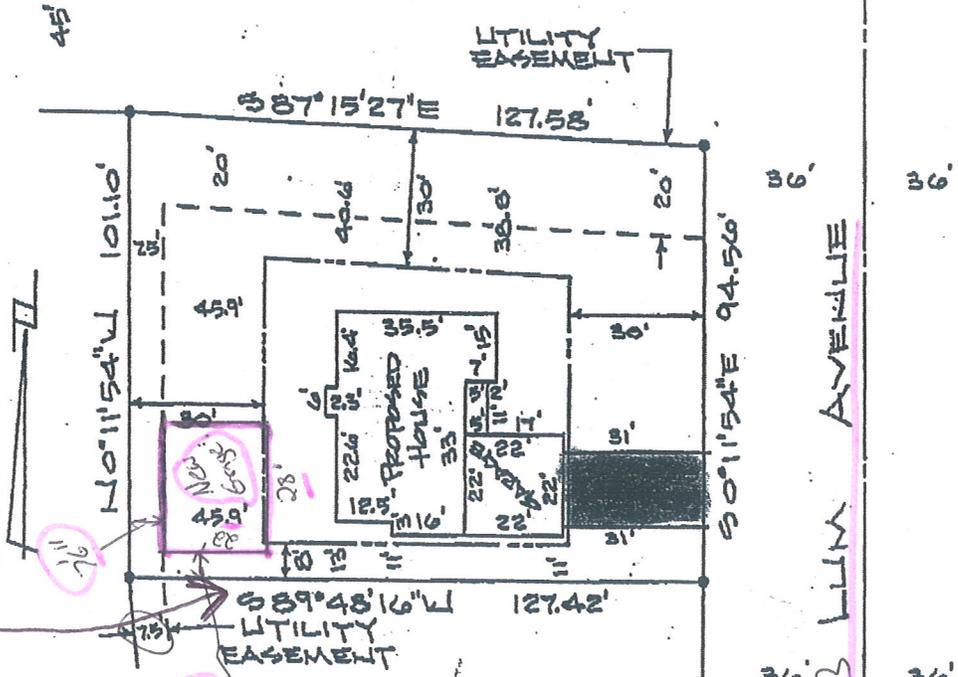
Description:

**LOT 4
TREYBURN FARMS
CITY OF WATERLOO
JEFFERSON, WISCONSIN**



CLARKSON ROAD

Is It O.K. to Set Small Shed Near to Garage?



Legend:

Scale: 1 inch = 30 feet

- = iron stake found
- = 1"52" iron pipe set min. wt. = 1.13#/in. ft.

— = Direction of drainage (per plat)

- - - Building Setback Line

Date: 10-31-01
Surveyed: _____
Drawn: PLM
Checked: _____
Approved: _____
Field book: _____
Comp. File: 011208
Office Map No. 011208

REVISED 12-7-01

Notes:

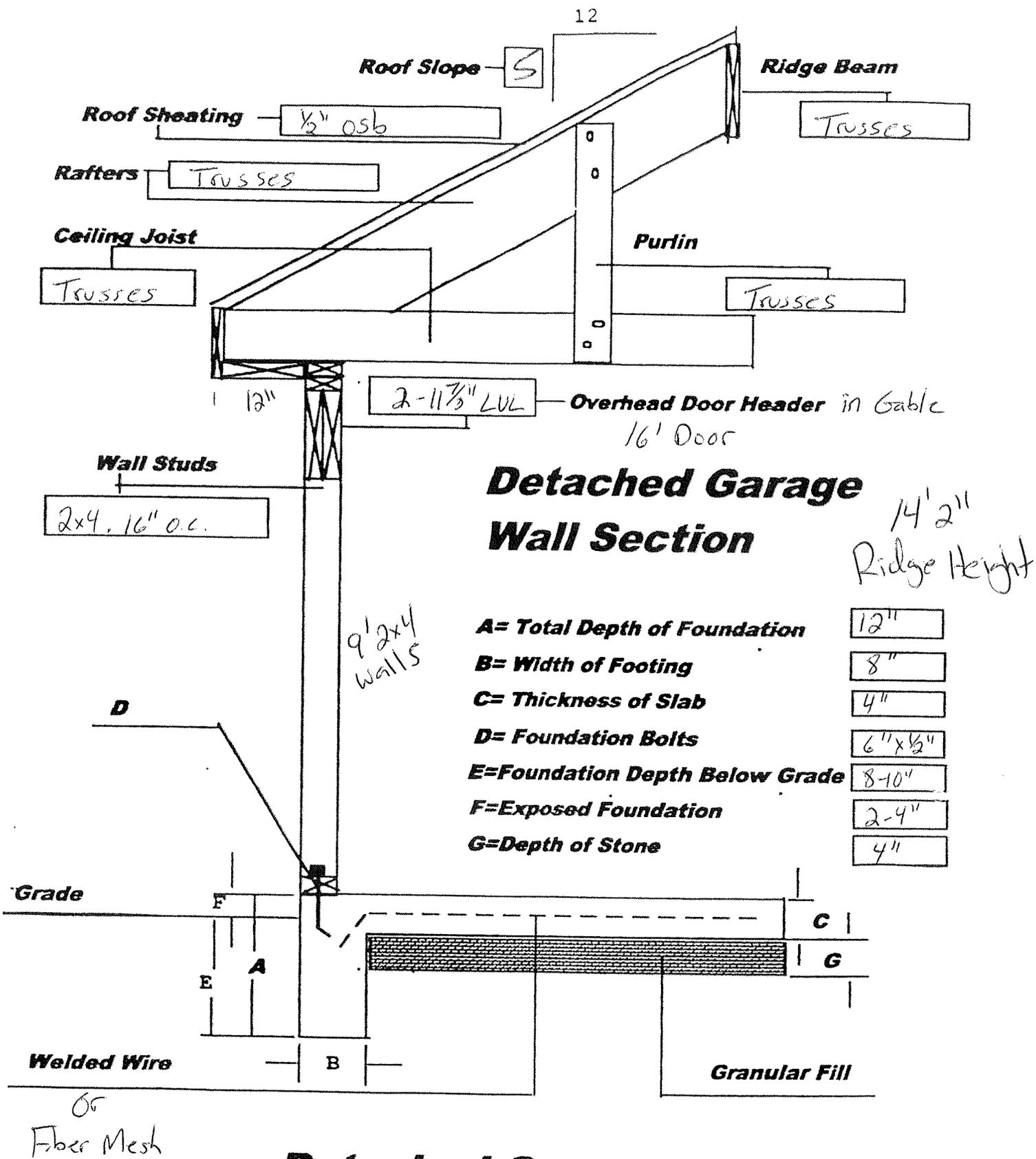
"The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes."

"Wetlands if present have not been delineated."

"This survey is subject to any and all assessments and agreements both recorded and unrecorded."

Elevations Referenced To ADJUTANT Datum

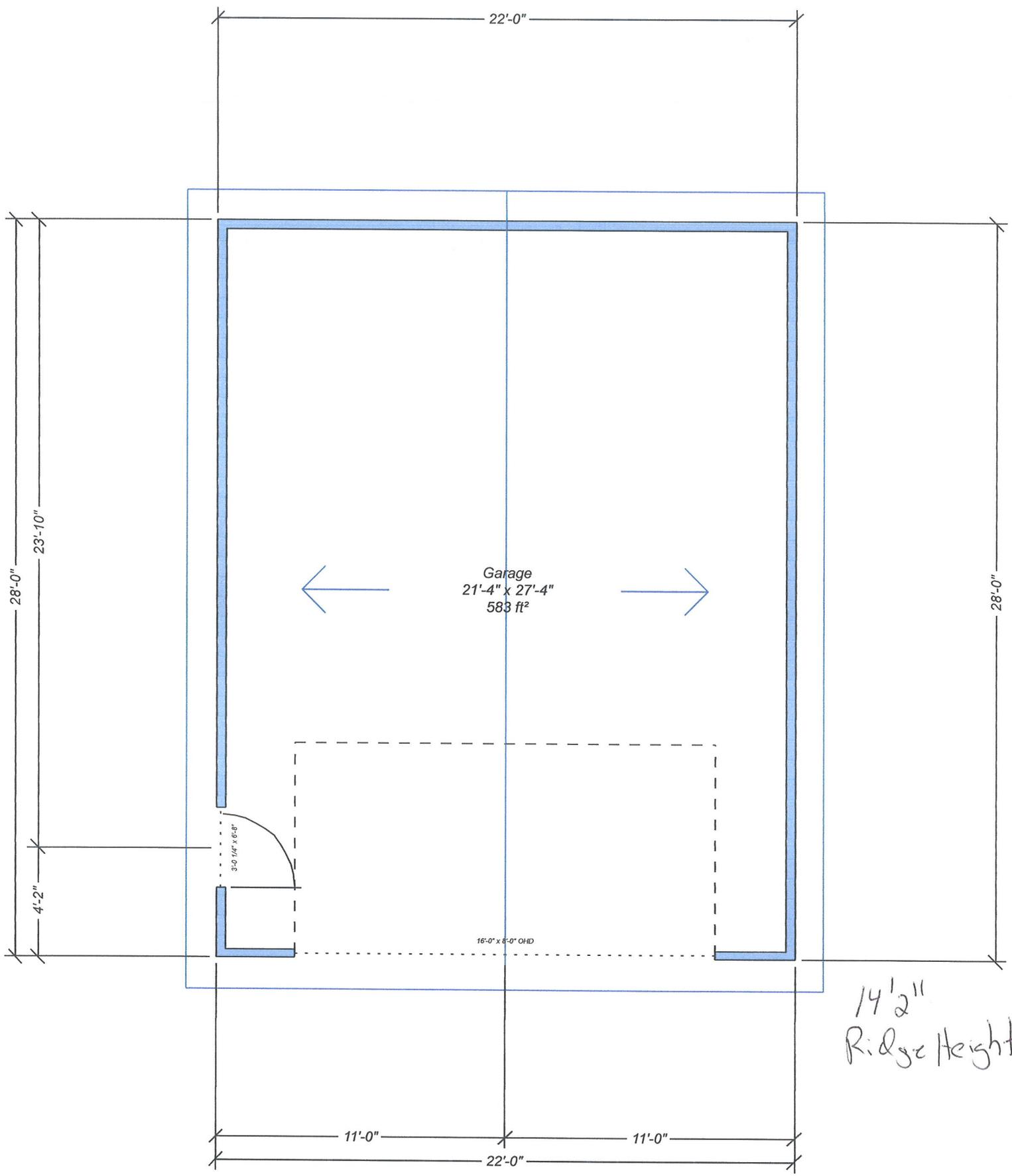
Surveyed For: CREATIVE DESIGNS, INC.
P.O. BOX 687
MARSHALL, WI, 53559
608-3095



Detached Garage Wall Section

Detached Garage

1113 Lum Ave
Waterloo



TO: COMMUNITY DEVELOPMENT AUTHORITY
FROM: CLERK/TREASURER
SUBJECT: COMMUNITY DEVELOPMENT REPORT AND WRITTEN AGENDA NOTES FOR 9/21 CDA MEETING
DATE: SEPTEMBER 17, 2021

Memo As Presented To CDA On 9/21/2021
(select pages pertaining to 310 Portland Road)

5b 310 PORTLAND ROAD

Chuck King representative for property owner UFP is looking to sell the property. He is asking if the City would be interested in a purchase. We reached out to Ron Griffin to ask if he would be interested in trading 347 Portland Road for 310 Portland Road. He declined. Below is an abbreviated email thread on this topic. The Mayor has asked the Plan Commission to also evaluate the opportunity.

Thank you Barry for your input. This is a good information to know up front. As stated, I'm sure there will be more questions. Thanks again.

Jenifer Quimby, Mayor

From: Barry Sorenson <bsorenson@waterlooutilities.com>
Sent: Tuesday, September 14, 2021, 2:52 PM
To: Jeni Quimby
Subject: RE: Follow up - Griffin meeting

Hi Jeni, I will try to answer your questions about water main looping, but it is extremely difficult not knowing where and what you are building. Keeping that in mind, building a main through the Pallet Co. parcel would help that area for the immediate term. However, any building to the North, would be dead ended again. Which would require a main installed opposite Industrial Ln. down to and connecting in. My initial thought would be to build it across Industrial Ln. first and save the money that would be invested going through Pallet One property. Installing it further North also allows you to easily feed any new growth to the North. One more concern I have is, I prefer to have the water main installed in the road, not across an easement or some ones lot.

Barry Sorenson
Superintendent, Waterloo Utilities

From: Jeni Quimby <mayor@waterloowi.us>
Sent: Tuesday, September 14, 2021 2:05 PM
To: Barry Sorenson <bsorenson@waterlooutilities.com>
Subject: Fwd: Follow up - Griffin meeting

Not sure I sent the full message before, hazards of the phone.... So looking to chat about the pros & cons. I did send this to CDA for them to discuss, they can send to the planning commission if they want to pursue. But wanted your input so I could let them know your thoughts up front. Email or call, whatever you'd like. Thanks!

Jenifer Quimby, Mayor

From: Mo Hansen <mhansen@waterloowi.us>
Sent: Tuesday, September 14, 2021, 9:25 AM
To: Jeni Quimby
Cc: Ben Filkouski; Mike Tschanz; Richard Weihert; Janae OConnell
Subject: RE: Follow up - Griffin meeting

Mayor,
Do you want this to the CDA? I am drafting its 9/21 agenda today.
Mo Hansen | Clerk/Treasurer | [City of Waterloo](http://CityofWaterloo) | 920.478.3025

From: Mo Hansen
Sent: Wednesday, September 08, 2021 8:07 AM
To: Jeni Quimby <mayor@waterloowi.us>
Cc: Ben Filkouski <ben.filkouski@madisoncommercialre.com>; Mike Tschanz <mtschanz@waterloowi.us>
Subject: RE: Follow up - Griffin meeting

Mayor,

In his prior communication Chuck King was looking for a City signal as to its interest for a quick sale, versus King putting it on the market. With Ron's no interest reply, are we at the point of signaling Chuck King of City non-interest?

Pros/Cons to municipal acquisition:

Pros

1. Site control to facilitate lower cost water system connection to Saddle Ridge.
2. Ability to consolidate lots with further acquisition of adjacent blighted residential properties, making an estimated seven acre site with buffers between zoning districts and a more attractive light-industrial or highway commercial lot. (i.e., broader corridor improvements...)
3. Could be anchor site for private-sector corridor improvements.

Cons

1. Fronting costs and associated risk.
2. Private sector interest/investment long-term may be in the engine repair and small-shop welder category, rather than creation of a quantity of family supporting jobs and property value growth.

Mo Hansen | Clerk/Treasurer | [City of Waterloo](http://CityofWaterloo.com) | 920.478.3025

From: Ben Filkouski <ben.filkouski@madisoncommercialre.com>

Sent: Tuesday, September 07, 2021 3:26 PM

To: Jeni Quimby <mayor@waterloowi.us>; Mo Hansen <mhansen@waterloowi.us>

Subject: Follow up - Griffin meeting

Good afternoon,

I met with Ron Griffin today. He will not be interested in doing a trade for his property and the PalletOne property. He stated that it would cost him approximately \$100,000 to do the addition to his building but that there is extensive work needed across the street on top of moving equipment, building out his wife's shop again, etc. He said he wants to retire in the next few years and does not want to bare the burden of debt. He also asked about purchasing a piece of the property at 333 Portland Rd to have room to drive around where he is interested in expanding. I told him that we would need to see plans and a timeline on doing this to move discussion along. The ball is in his court to proceed with this discussion. I hoped for a more positive meeting with him regarding the building across the street.

If you all are interested in tackling the building across the street or need assistance in anything regarding that moving forward do not hesitate to reach out. I am also available for a call to discuss further when need be.

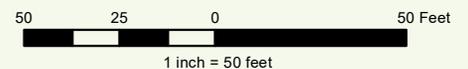
If you have any follow up questions, let me know.

Benjamin J. Filkouski-

Jefferson County Land Information



- | | | | | | |
|---------------------|-----------------------|--|--------------------|---|---------------|
| | Description | | Rail Right of Ways | | Tax Parcels |
| | Municipal Boundaries | | Road Right of Ways | Jefferson_County_Wide_Mosaic.sid | |
| Parcel Lines | | | Section Lines | | Red: Band_1 |
| | Property Boundary | | Surface Water | | Green: Band_2 |
| | Old Lot/Meander Lines | | Map Hooks | | Blue: Band_3 |



Mo Hansen

From: Jeni Quimby
Sent: Tuesday, September 21, 2021 1:41 PM
To: Mo Hansen
Cc: Charles Kuhl; Mike Tschanz; Barry Sorenson; Tim Thomas; Rich Weihert
Subject: Fwd: Resolution #2021-35 signed

Mo, per the recommendation of our attorney, please add this to the Plan Commission agenda next week for approval & as a notice of procedural check for the members. I do believe we've had a few of these skip the plan Commission review, so this one needs to be sent, along with adding back to council for their information & ratification, as requested in the email by Bill.

Jenifer Quimby, Mayor
Sent from my U.S.Cellular©

From: William S. Cole <WCole@axley.com>
Sent: Monday, September 20, 2021, 5:40 PM
To: Jeni Quimby
Cc: Tim Thomas; Rich Weihert; Erika M. Pritchett
Subject: RE: Resolution #2021-35 signed

Mayor,

I did not find any requirement in the City code of ordinances requiring any specific procedure prior to the sale of surplus property. In the absence of such local requirement, the City Council possesses the authority to sell and convey real property pursuant to sec. 62.22(1), Stats. There is no requirement that the property be appraised or be sold for a certain price, although that is often done to preclude a claim of abuse of discretion. As you know, land is often conveyed to a developer for little or no consideration without appraisal in order to facilitate urban redevelopment.

However, the statutes do require the proposed sale be referred to the Plan Commission "for its consideration and report before final action is taken by the council". The Wisconsin Supreme Court has held that the failure to do so voids such a sale. See Scanlon v. City of Menasha, 16 Wis.2d 437, 114 N.W.2d 791 (1962). Accordingly, I recommend the matter be referred to the Plan Commission for consideration and recommendation. Upon receipt, the matter should be placed on the Council agenda for consideration of the Plan Commission report. If the Council deems it appropriate to convey the property as contemplated in the resolution, it may simply ratify the prior resolution.

As always, please feel free to call if you wish to discuss the matter.

Bill

William S. Cole

Phone: 608.283.6766

Axley Brynson, LLP

From: Jeni Quimby <mayor@waterloowi.us>
Sent: Monday, September 20, 2021 1:59 PM
To: William S. Cole <WCole@axley.com>

Cc: Tim Thomas <alder3@waterloowi.us>; Rich Weihert <alderatlargeb@waterloowi.us>

Subject: FW: Resolution #2021-35 signed

Hi Bill, I was hoping you could take a minute and look at this document, that I reluctantly signed this morning. We have a few remnant land parcels in the city that we are moving to willing property owners. Some, like this one, are given away at no cost, but the property owner is responsible for the CSM and costs related to that. This will go from city owned to privately owned, taxable land. One of the Alders had asked for legal opinion if we can give this away or does it need to have a (minimal) dollar value? Mo did add \$1, but he did not seek your professional opinion, as requested.

I believe in 2019, we did a land transfer for a (now) property owner at 520 McKay Way where the city gave the land owner approximately 15 feet on the back end of (2) lots to assist with the sale of the property. It was an Outlot and there wasn't any utility conflicts or anything, so we had them do a new CSM and simply put this extra land on the tax roll, but I don't recall that we charged them anything for this. So I just want to be clear and consistent on the process and if charging, albeit minor, is necessary or not?

We will have 1 or 2 more like this in the future, and since an Alder specifically requested legal advice that we did not have an answer for last Thursday, I want to be sure we abide by the passed motion! Please let me know if you have any questions. Thanks Bill!

Jenifer Quimby / Mayor 2019 City of Waterloo, WI

920-478-3025 / 608-516-3363 cell

mayor@waterloowi.us

From: Mo Hansen <mhansen@waterloowi.us>

Sent: Monday, September 20, 2021 10:40 AM

To: Jeni Quimby <mayor@waterloowi.us>; Eric Rhynes <alder2@waterloowi.us>; Jason Schoenwetter <alder1@waterloowi.us>; Charles Kuhl <alderatlargea@waterloowi.us>; Mike Tschanz <mtschanz@waterloowi.us>; Jeanette Petts <alder4-5@waterloowi.us>; Rich Weihert <alderatlargeb@waterloowi.us>; Ron Griffin (griffinrepair@gmail.com) <griffinrepair@gmail.com>; Tim Thomas <alder3@waterloowi.us>

Cc: mjyerges@gmail.com; Jeanne Ritter <jritter@waterloowi.us>

Subject: Resolution #2021-35 signed

The Mayor asked that I send the attached signed resolution to the City Council.

Mo Hansen | Clerk/Treasurer | City of Waterloo | 920.478.3025