



136 North Monroe Street
Waterloo, Wisconsin 53594-1198

NOTICE OF A CITY OF WATERLOO PLAN COMMISSION MEETING

Pursuant to Section 19.84 Wisconsin Statutes, notice is hereby given to the public and the news media, the following meeting will be held to consider the following:

MEETING: PLAN COMMISSION
DATE: TUESDAY, August 24, 2021 **TIME: 7:00 p.m.**
LOCATION: 136 N. MONROE STREET, MUNICIPAL BUILDING COUNCIL CHAMBERS

Join Zoom Meeting: <https://us02web.zoom.us/j/84510934184?pwd=a0Z4YUk5SmV2bXd1Rm1BQzZkc1NZQT09>

Meeting ID: 845 1093 4184 Passcode: 320430

Dial-in by Phone: +1 312 626 6799 US (Chicago)

Meeting ID: 845 1093 4184 Passcode: 320430

PUBLIC HEARING – CONDITIONAL USE APPLICATION – JEFFERSON COUNTY SHERIFF, UNADDRESSED HERON COURT PARCEL

1. CALL TO ORDER
2. PUBLIC HEARING – Conditional Use Application, Jefferson County Sheriff, unaddressed Herron Court parcel (parcel ID 290-0813-0613-034, located directly south of 735 Herron Court). The applicant is requesting a conditional use permit to allow the existing tower height to be increased. A conditional use permit is required for a change in height for an existing communication tower. Tax Parcel #290-0813-0613-034
3. ADJOURN PUBLIC HEARING

PUBLIC HEARING – CONDITIONAL USE APPLICATION- FITZGERALD, 217 MAPLE DRIVE

1. CALL TO ORDER
2. PUBLIC HEARING – Conditional Use Application, Adam Fitzgerald, 217 Maple Drive. The applicant requests a conditional use permit to allow for an additional garage. A conditional use permit is required for a Residential District (R-1) property when an additional garage or accessory building exceeds 144 square feet. Tax Parcel #290-0813-0522-013
3. ADJOURN PUBLIC HEARING

PLAN COMMISSION REGULARLY SCHEDULED MEETING

1. CALL TO ORDER AND ROLL CALL
2. APPROVAL OF MEETING AND PUBLIC HEARING MINUTES: July 27, 2021
3. CITIZEN INPUT
4. COMPLIANCE & ENFORCEMENT REPORT
 - a. Discussion & Action On Plan Commission Compliance Measures

5. NEW BUSINESS

- a. Street Lighting At Intersection Of State Highways 19 & 89 (4-corners) And Adjacent Park Lighting
- b. City Council Referral Of Denied A Commercial/Industrial Use Request In An Agricultural District, Thomas & Theresa Jaeger, 200 Clarkson Road. [NOTE: On August 5th, the City Council denied a July 27, 2021 Plan Commission recommendation determination stating that a proposed welding/repair business at this property would be a use customarily incident to permitted Agricultural District permitted uses. Immediately after voting to deny the determination, Alders referred the matter back to the Plan Commission.]
- c. Conditional Use Application, Jefferson County Sheriff, unaddressed Herron Court parcel (parcel ID 290-0813-0613-034, located directly south of 735 Herron Court). The applicant is requesting a conditional use permit to allow the existing tower height to be increased. A conditional use permit is required for a change in height for an existing communication tower. Tax Parcel #290-0813-0613-034
- d. Conditional Use Application, Adam Fitzgerald, 217 Maple Drive. The applicant requests a conditional use permit to allow for an additional garage. A conditional use permit is required for a Residential District (R-1) property when an additional garage or accessory building exceeds 144 square feet.

6. FUTURE AGENDA ITEMS & ANNOUNCEMENTS

- a. Zoning Maps & Planning Map Updates

7. ADJOURNMENT

Mo Hansen

Mo Hansen, Clerk/Treasurer

Posted, Distributed & Emailed: 08/19/2021

Members: Leisses, Quimby, Petts, Crosby, Reynolds, Lannoy, and Sorenson

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meeting(s) to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request such services please contact the clerk's office at the above location.



136 North Monroe Street
Waterloo, WI 53594
Phone: (920) 478-3025
Fax: (920) 478-2021
www.waterloowi.us

**NOTICE OF PUBLIC HEARING FOR CONDITIONAL USE PERMIT UNDER PROVISIONS
OF CHAPTER §385-29(4) OF THE ZONING CODE OF THE CITY OF WATERLOO,
JEFFERSON COUNTY, WISCONSIN**

Please take notice that the Plan Commission of the City of Waterloo, Jefferson County, Wisconsin, acting under provisions of Chapter §385-29(4) of the Zoning Code of the City of Waterloo, shall hold a public hearing on the matter of a conditional use application received from Jefferson County Sheriff regarding property directly south of 735 Herron Court.

The applicant is requesting a conditional use permit to allow the existing tower height to be increased. A conditional use permit is required for a change in height for an existing communication tower.

The property is described as follows:

- Parcel 290-0813-0613-034 (COM SE/C SE ¼ NE 1/4, S88DGW 1552.83FT, S87DG59'W 456.02 FT, N01DG54'W .45FT TO POB S88DG01'W 65.90FT, N00DG43'W 120.22FT, S74DG01'E 66.64FT)
- Herron Ct Waterloo

Be further notified that the Plan Commission will hear all persons interested or their agents or attorneys concerning the conditional use permit application at a public hearing. The public hearing will be held at **7:00 p.m. on Tuesday, August 24, 2021 in the Council Chamber of the Municipal Building, 136 N. Monroe Street, Waterloo.**

After the public hearing, the Plan Commission shall recommend approval, denial, or conditional approval of the conditional use permit to the Common Council. The City Council will act on the Plan Commission's recommendation at its regular scheduled meeting on Thursday, September 2, 2021.


Mo Hansen
City Clerk/Treasurer

Pub: The Courier: August 19, 2021



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**NOTICE OF PUBLIC HEARING FOR CONDITIONAL USE PERMIT UNDER PROVISIONS
OF CHAPTER §385-8(B)(7) OF THE ZONING CODE OF THE CITY OF WATERLOO,
JEFFERSON COUNTY, WISCONSIN**

Please take notice that the Plan Commission of the City of Waterloo, Jefferson County, Wisconsin, acting under provisions of Chapter §385-8(B)(7) of the Zoning Code of the City of Waterloo, shall hold a public hearing on the matter of a conditional use application received from Adam Fitzgerald, owner of 217 Maple Dr.

The applicant is requesting a conditional use permit to allow for an additional garage on the subject parcel. A conditional use permit is required for a Residential District (R-1) property when an additional garage or accessory building exceeds 144 square feet.

The property is described as follows:

- Parcel 290-0813-0544-089 (BEG AT NE/C LOT 42, IST ADD TO SUNSET GARDENS, N33DG37' 100FT, S56DG20'E 139.94FT, S33DG42'W 100FT TO SE/C LOT 42, NW TO POB.)
- Also known as 217 Maple Dr. Waterloo

Be further notified that the Plan Commission will hear all persons interested or their agents or attorneys concerning the conditional use permit application at a public hearing. The public hearing will be held at **7:00 p.m. on Tuesday, August 24, 2021 in the Council Chamber of the Municipal Building, 136 N. Monroe Street, Waterloo.**

After the public hearing, the Plan Commission shall recommend approval, denial, or conditional approval of the conditional use permit to the Common Council. The City Council will act on the Plan Commission's recommendation at its regular scheduled meeting on Thursday, September 2, 2021.


Mo Hansen
City Clerk/Treasurer

Pub: The Courier: August 19, 2021

WATERLOO PLAN COMMISSION – Minutes for July 27, 2021

PUBLIC HEARING (1 OF 2) – CONDITIONAL USE APPLICATION – JAEGER, 200 CLARKSON ROAD

1. PUBLIC HEARING CALL TO ORDER . Mayor Quimby called the public hearing to order at 7:00 pm. Plan Commissioners attending: Crosby, Quimby, Sorenson, Reynolds, Lannoy and Leisses. Absent: Petts. Others attending: Aaron Sturgill, Tom Jaeger, Dean Jaeger and the Clerk/Treasurer.
2. PUBLIC HEARING – Conditional Use Application, Thomas & Theresa Jaeger, 200 Clarkson Road. The applicants request to be allowed a commercial use of two existing outbuildings for a welding/repair business. The contemplated use is not a permitted use unless deemed by the Plan Commission to be a use customarily incident to any of the Agricultural District permitted uses. Alternatively, a conditional use may be granted if the Plan Commission finds the contemplated use compatible, or similar in nature, to the stated allowable conditional uses. Tax Parcel #290-0813-0611-000. DISCUSSION: The applicant described the use saying it would start as a part-time occupation during the evenings; be indoors; would involve posting a commercial sign; and would involve metal fabrication, welding and repairs. Jaeger said he wanted to be pro-active and would consider moving to an industrial site if the business expanded. In reply to a Crosby question, he said there was adequate existing driveway access. Jaeger said he would be the lone employee. Dean Jaeger, 356 Clarkson Road, spoke in support of his son's application saying Tom Jaeger was a professional welder in Middleton. No other member of the public addressed the Plan Commission. The Mayor said the future land use map called for the area to be mixed-use.
3. ADJOURN PUBLIC HEARING. Mayor Quimby adjourned the public hearing at approximately 7:12 pm.

PUBLIC HEARING (2 OF 2) – CONDITIONAL USE APPLICATION – STURGILL, 1021 JAMIE STREET

1. PUBLIC HEARING CALL TO ORDER . Mayor Quimby called the public hearing to order at 7:13 pm. Plan Commissioners attending: see above.
2. PUBLIC HEARING – Conditional Use Application, Aaron Sturgill, 1021 Jamie Street. The applicant requests a conditional use permit to allow for a 3rd garage addition. A conditional use permit is required for a Residential District (R-1) property when an additional garage or accessory building exceeds 144 square feet. Tax Parcel #290-0813-0522-013. DISCUSSION: Sturgill said additional family living at the property of driving age led to the application. In reply to a Crosby question, Sturgill described how the garage would be accessible from the street. No other member of the public addressed the Plan Commission.
3. ADJOURN PUBLIC HEARING. Mayor Quimby adjourned the public hearing at approximately 7:16 pm.

PLAN COMMISSION REGULARLY SCHEDULED MEETING

1. CALL TO ORDER AND ROLL CALL. Mayor Quimby called the regularly scheduled meeting to order at 7:17 pm. Plan Commissioners attending: see above.
2. APPROVAL OF MEETING AND PUBLIC HEARING MINUTES: April 27, 2021. MOTION: [Crosby/Reynolds] To approve the minutes as presented VOICE VOTE: Motion carried.
3. CITIZEN INPUT. None.
4. COMPLIANCE & ENFORCEMENT REPORT. DISCUSSION: Hansen noted the additional complaint of exceptionally strong odor from the Ver-Jan Acres Incorporated Farm Operation on Clarkson Road. Sorenson requested an August agenda item where the Plan Commission would assess open items and determine what it would say to gain compliance from those with open items. It was deemed helpful to have Chris Butschke participate. MOTION: [Sorenson/Crosby] To set the August agenda item as described by Sorenson. VOICE VOTE: Motion carried.
5. UNFINISHED BUSINESS
 - a. Review And Action, Procedures For Building Permit Applications (See: [online checklists & forms](#) Conditional Use Process, Certified Survey Process, Land Subdivision Process. DISCUSSION: Hansen described forms online. MOTION: [Crosby/Reynolds] To determine the review completed. VOICE VOTE: Motion carried.

6. NEW BUSINESS

- a. Conditional Use Application, Thomas & Theresa Jaeger, 200 Clarkson Road. The applicants request to be allowed a commercial use of two existing outbuildings for a welding/repair business. The contemplated use is not a permitted use unless deemed by the Plan Commission to be a use customarily incident to any of the Agricultural District permitted uses. Alternatively, a conditional use may be granted if the Plan Commission finds the contemplated use compatible, or similar in nature, to the stated allowable conditional uses. Tax Parcel #290-0813-0611-000. DISCUSSION: Sorenson noted the applicant said it would not be full-time work. He said if the business expanded, the applicant could come back. Lannoy said he lived near the site and welding would not disturb neighbors. Quimby said the future land use map called for a mixed use, with the comprehensive plan showing that even a gas station would be appropriate in a mixed use area. She said welding was a quiet occupation. Leisses and Hansen said a permitted use could not contain conditions. MOTION: [Leisses/Lannoy] To recommend to the City Council approval of a Plan Commission determination that the proposed use is customarily incident to any of the Agricultural District permitted uses. VOICE VOTE: Motion carried.
- b. Conditional Use Application, Aaron Sturgill, 1021 Jamie Street. The applicant requests a conditional use permit to allow for a 3rd garage addition. A conditional use permit is required for a Residential District (R-1) property when an additional garage or accessory building exceeds 144 square feet. Tax Parcel #290-0813-0522-013. MOTION: [Crosby/Sorenson] To recommend Council approval of the application as presented. VOICE VOTE: Motion carried.

7. FUTURE AGENDA ITEMS & ANNOUNCEMENTS

- a. Zoning Maps & Planning Map Updates & Forms Updates. Noted.
- b. Crosby raised the issue of insufficient street lighting at the intersection of State Highway 89 & State Highway 19 (4-corners). Leisses commented about the opportunity to use the adjacent park space to further light the intersection.

8. ADJOURNMENT. MOTION: Moved by Leisses, seconded by Petts to adjourn. Approximate time: 7:55 p.m.



Mo Hansen, Clerk/Treasurer

Report To The Plan Commission
Open Code Enforcement Challenges
Clerk/Treasurer

Category	Open Date	Closed Date	Address	Responsible Party	Municipal Lead	Desired Outcome	Link To Ord.	Notes	Action
OPEN Neighbor complaints	Jan-15		362 E. Madison St.	Jeremy Uttech	SAFEBUILT	Property owner maintaining clean property; no dangerous work garage	§219-5 Safe and sanitary maintenance of property	Pending action (C.B. verbal) Continue to watch. A residential property formerly zoned commercial; owner has a history of storing scrap on site and selling items on lawn. Repeated combustion incidents in garage.	
OPEN Code compliance	Jan-16		129 N Monroe St	Keri Sellnow	SAFEBUILT	Complete 1st floor build-out to code per conditional use	§140-19 Violations and penalties	Owner in violation C.B. 2021 QTR 1 communication. Owner granted conditional use to reside on a portion of 1st floor; has not complied with building code with shared commercial & residential floor	
OPEN Code compliance	Jan-16		213 West Madison St	Bill Hart	TBD	Use in compliance with zoning code	§385-12 C-1 General Commercial District	J.Q. to address. Use changed from printing to warehousing, no conditional use granted therefore an illegal use	
OPEN Neighbor complaints	Jun-17		136 Jefferson Street	Jon & Tara Driver	DPW	Appropriate use of sump pump not creating potential pedestrian slip hazard	§283-8 Clear waters	Scheduled for 2022 road reconstruction. Remedy linked to when road is redone. Discharge of sump pump to curb line doesn't flow to storm sewer creating pedestrian walk hazard near elementary school	
OPEN Neighbor complaints	Jun-17		135 Jefferson St	Corey Besl	DPW	Developer dredging of silted ponds per development agreement	§283-8 Clear waters	Scheduled for 2022 road reconstruction. Remedy linked to when road is redone.. Discharge of sump pump to curb line doesn't flow to storm sewer creating pedestrian walk hazard near elementary school	
OPEN Property Maintenance	Jun-17		275 S. Jackson St	Tired Iron Buyer LLC	SAFEBUILT	Property owner investment in warehouse repairs after sale of property from City to property owners <u>and no blight</u>	§219-5 Safe and sanitary maintenance of property	C.B. to follow-up. Door repaired wall repair in progress; 11/6 neighbor files complaint of trash, property owner contacted, property owner replies matter being addressed	
OPEN Property maintenance	Sep-19		1085 Jaystone Terr	KSA Waterloo LLC; Ben Waterloo LLCLS DR	SAFEBUILT	Resident complaint: entry threshold prevents wheel chairs and dryer vent may be fire hazarded; 9/3 Routed to Chris B to inspect	§ 219-5 Safe and sanitary maintenance of property	C.B. has made contact. No reply from owner.	
OPEN Property Maintenance	Jun-20		261 S MONROE ST	ANDREW V GRUNEWALD	SAFEBUILT	No blighting conditions	§ 219-5 Safe and sanitary maintenance of property	Improvement since letter sent. Not 100% Follow-up pending.	
OPEN Property Maintenance	May-20		208 PORTLAND RD	GORDON D YELK & DEBRA A YELK	SAFEBUILT	Remedy collapses garage. No blighting conditions	§ 219-5 Safe and sanitary maintenance of property	Improvement since letter sent. Garage and car removed, adjacent blight not removed. Follow-up pending.	

TO: PLAN COMMISSION
FROM: CLERK/TREASURER
SUBJECT: JAEGER PROPOSED USE AND POTENTIAL POLICY OPTION AFTER 8/5 CITY COUNCIL ACTION
DATE: AUGUST 19, 2021

JAEGER PROPOSED USE AND POTENTIAL POLICY OPTIONS AFTER 8/5 CITY COUNCIL ACTION

Options to consider for Plan Commission and applicant after the 8/5 City Council denial of the Plan Commission's 7/27 recommendation, in no particular order.

- ACTION: No additional Plan Commission action. RESULT: The applicant's contemplated use would not be permitted.
- ACTION: Applicant seeks to rezone the property to [M-1 Limited Industrial District](#). Note: Applicant has indicated he does not want to change from the current [A Agricultural District](#) designation.
- ACTION: As part of the Comprehensive Plan Update implementation, redraft the [City of Waterloo Future Land Use Map](#), including re-write of this area, and reconfigure existing zoning categories allowing greater flexibility in land use.
 - The Plan Commission could initiate this process.
- ACTION: Redefine the [A Agricultural District](#) to allow commercial metal fabrication and welding businesses.
 - The Plan Commission could initiate a zoning amendment as prescribed in [§385-31 of the municipal code](#).

My wife and I bought the property at 200 Clarkson Rd in July 2020. The property sits on 16 acres, has a house (which we live in), two outbuildings and is zoned agricultural. I am currently a professional welder and have been for many years (fabrication/production shops, construction equipment dealership, and the food industry). I'm interested in starting a part-time welding business at this location. My thought is offering weld repair services/light fabrication from small repair jobs to possibly agricultural equipment. Being that this is a new business venture I would like to start this as part-time and expand to full-time as the business grows. If I would outgrow this location I would consider moving the business to an industrial zoned location in Waterloo.

Key points:

- The two outbuildings I would work out of are away from the road and neighbors which would allow to keep things undercover and minimize unwanted noise
 - Building one is 30' x 36' post frame
 - Building two is 54' x 81' post frame with an attached 32' x 32' stable
- This is a solo venture, I'm currently working full-time
- The electrical service to the property is sufficient at this time

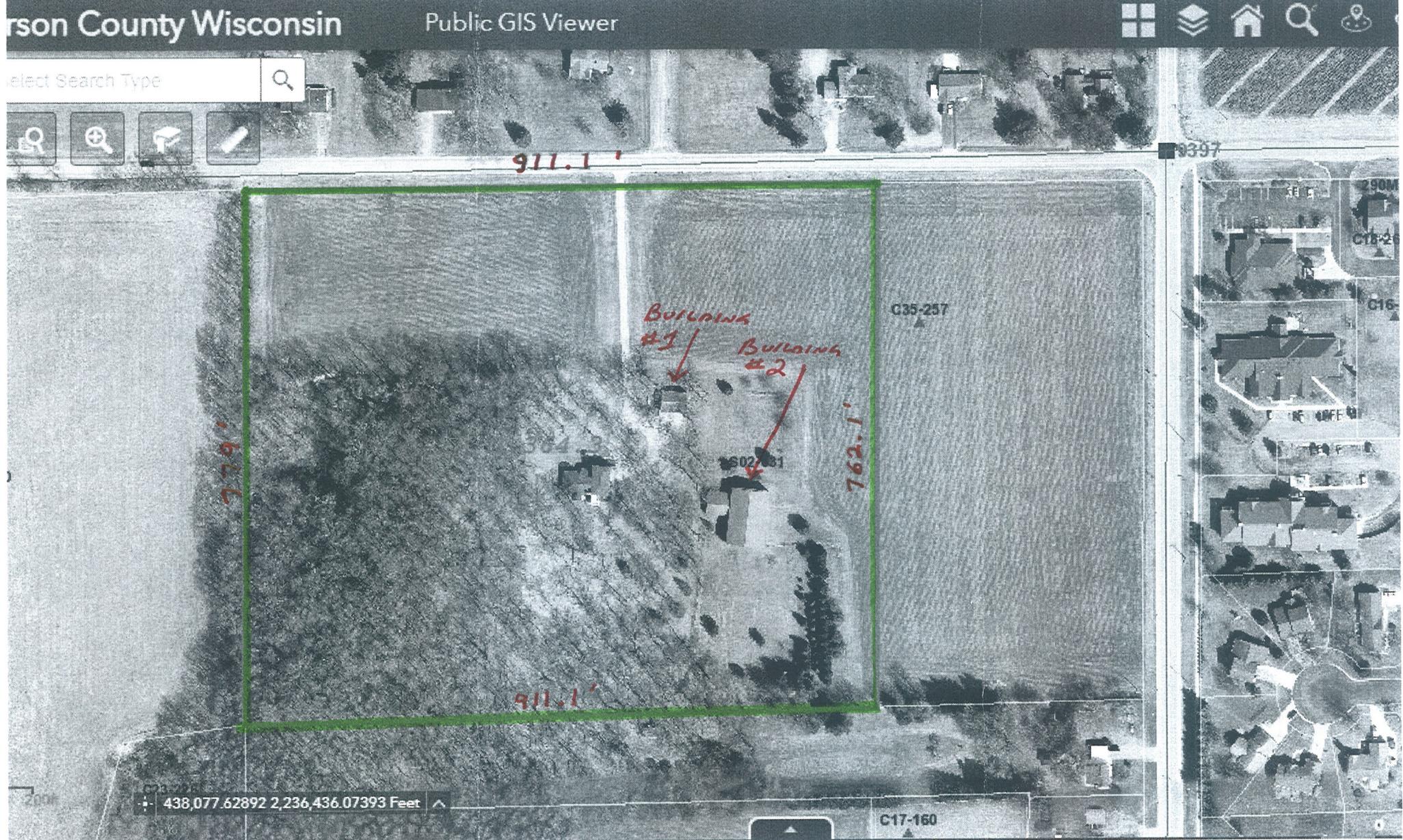
On a side note, I've been doing upholstery work (which I enjoy) as a hobby and want to explore doing more of it.

I would like your consideration on the matter of applying for a conditional use permit.

Thank you,
Tom and Theresa Jaeger
200 Clarkson Rd
Waterloo, WI 53594
608-239-5787

TOM + THERESA JAEGER
200 CLARKSON RD
WATERLOO, WI 53594

LEGAL DESCRIPTION: LOT 2 CSM 6081-35-257, Doc 1426857
PARCEL # 290-0813-0611-000



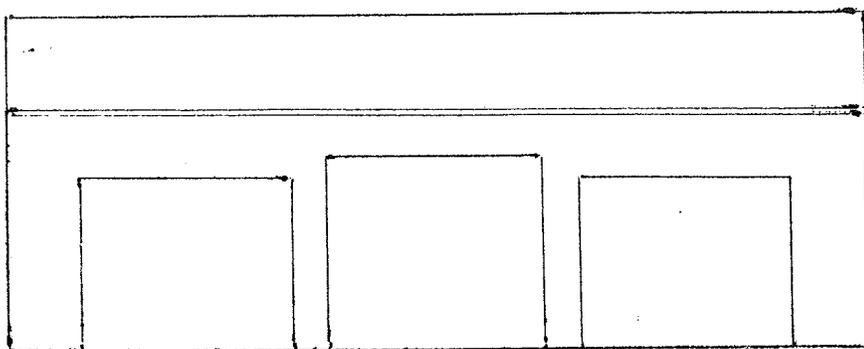
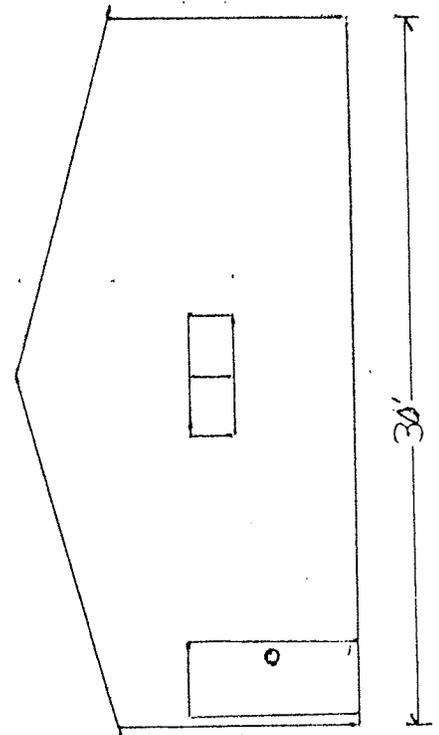
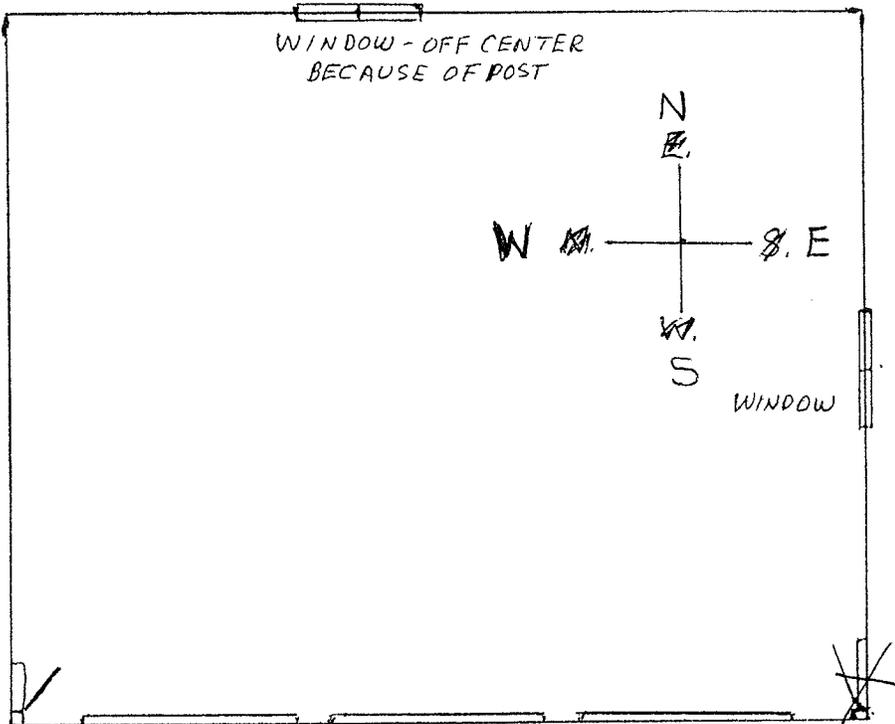
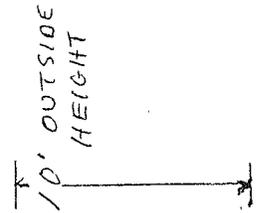
DIAMENTIONS ARE APPROXIMATE

SHOP

~~ALSO SEE A. D. M. P. S. E.~~

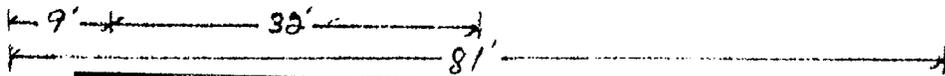
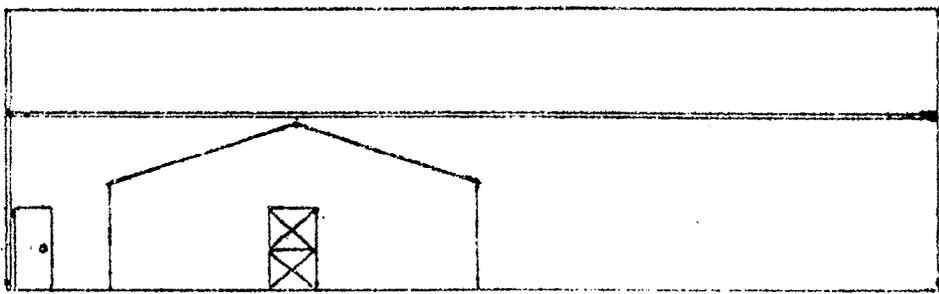
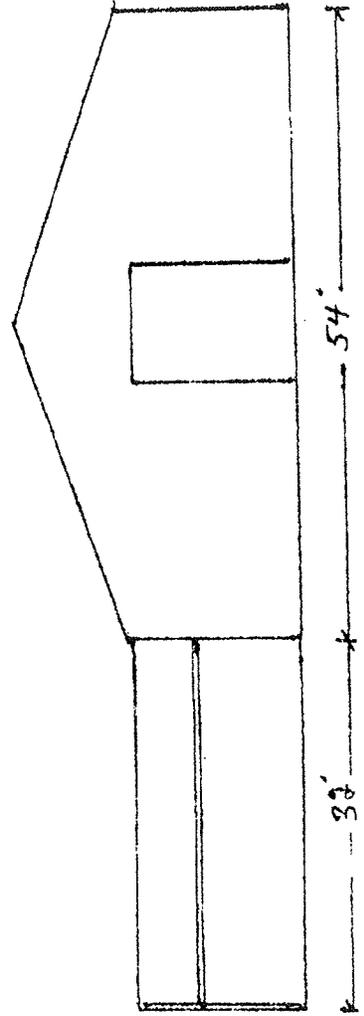
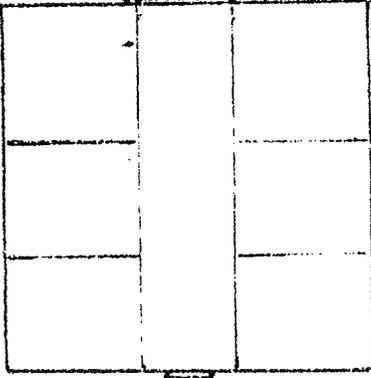
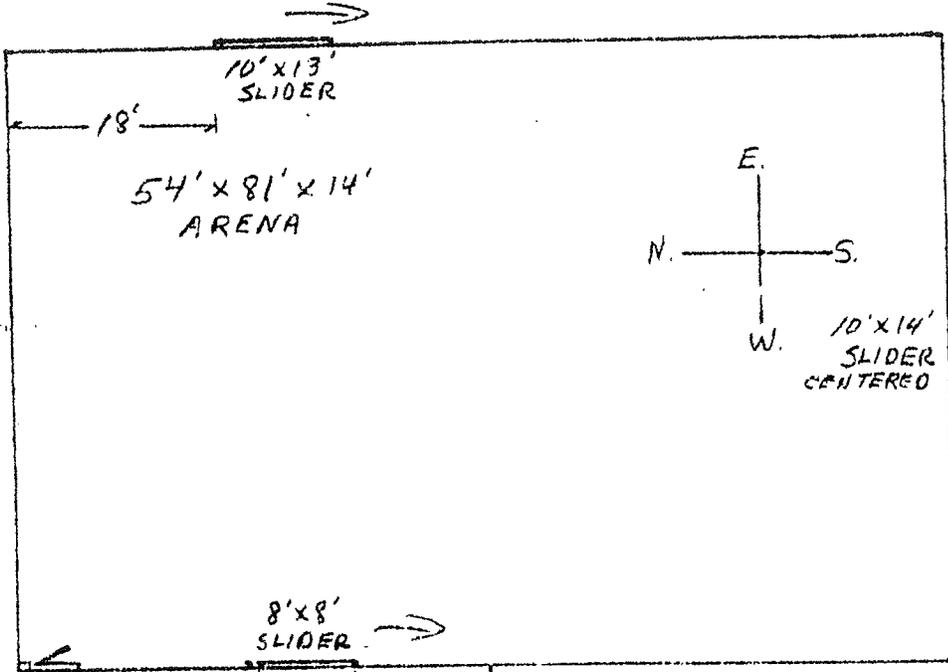
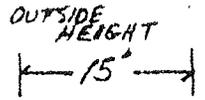
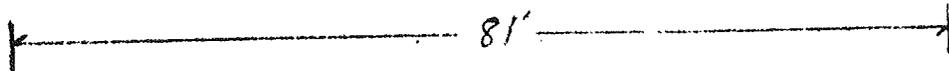
SCALE: 1/8" = 1'

BUILDING ONE



BUILDING TWO

BARN



 M. Miller-Dunnery
200 Clarkson Rd.
Waterloo, WI 53594-9721

SCALE: 1/16" = 1'



136 North Monroe Street
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APPLICATION FOR CONDITIONAL USE PERMIT
(Review and Action by City Plan Commission/Common Council)

Number: _____ Date Filed: _____ Fee Paid: _____

Location of Property: End of Herron Ct. (Parcel No. 290-0813-0613-034)

Applicant: Jefferson County Sheriff's Office - Todd Lindert

Address: 411 S Center Ave, Jefferson, WI 53549 Telephone: 920-674-7346

Owner of Property: Jefferson County

Address: 311 S Center Ave, Jefferson, WI 53549 Telephone: 920-674-7101

Contractor: Finish Excavating

Address: 7382 N. Main St., East Dubuque, IL 61025 Telephone: 815-747-2733

Architect or Professional Engineer: Edge Consulting Engineers, Inc. - Arlen Ostreng, PE

Address: 624 Water Street, Prairie du Sac, WI 53578 Telephone: 608-644-1449

Legal Description of Property: See Attached.

Land Parcel Size: 7120 Sq.Ft. Present Use: Communication Tower Zoning District: Agricultural/Rural

Type of Existing Structure (if any): Communication Tower Site

Proposed Use of the Structure or Site: Communication Tower Site Number of Employees: 0

Terms of Municipal Code

Conditional Use Requested

Extension of existing tower height to 80'

Specify Reason(s) for Application: (for example, insufficient lot area, setback, etc.)

Existing 60' tower is too short to support the new public safety radio system. Requesting to extend the existing tower height to 80'. A new radio equipment building is also necessary.

ATTACH THE FOLLOWING:

Site Plan showing the area involved, its location, dimensions, elevations, drainage, parking, etc., and location of adjacent structures within 200 feet.

Date: 08-12 2021

Todd Lindert
Signature of Applicant

PLAT OF SURVEY

BEING A PART OF THE SW1/4 OF THE NE1/4, SECTION 6, T.8N., R.13E., CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN

-LEGEND-

- = 1" X 18" IRON PIPE SET (1.130 LB./FT.)
- = REBAR FOUND
- ⊙ = COUNTY MONUMENT FOUND
- () = RECORDED INFORMATION
- P.O.B. = POINT OF BEGINNING

NE CORNER SECTION 6 T.8N. R.13E. (MON. FND.)

EAST LINE OF THE NE1/4, SECTION 6

S00°-12'-29"W

E1/4 CORNER SECTION 6 T.8N. R.13E. (MON. FND.)



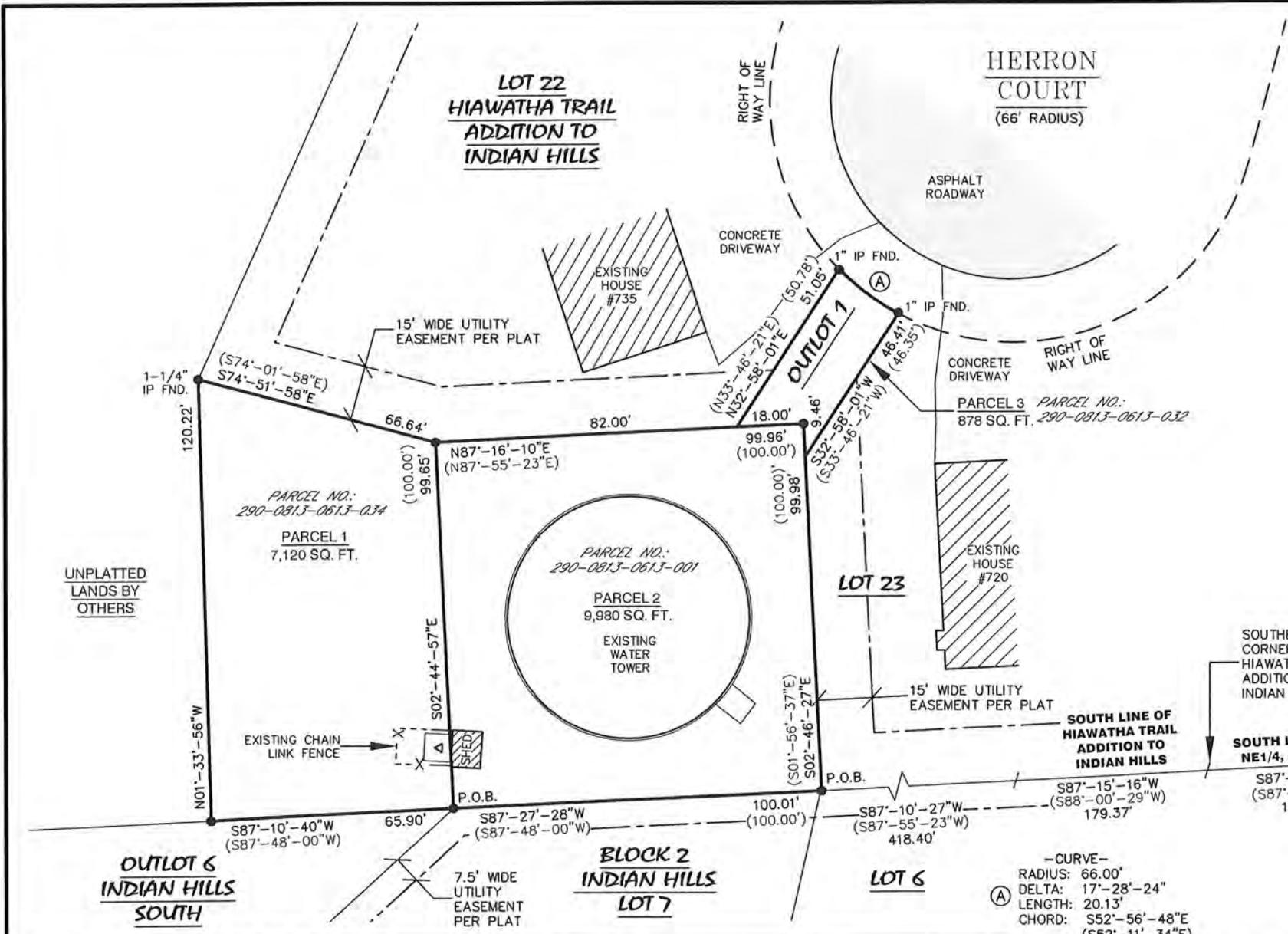
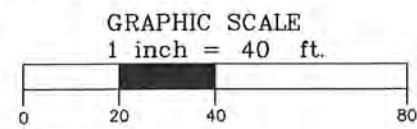
BEARINGS REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (NAD83/2011) - SOUTH ZONE AND THE EAST LINE OF THE NE1/4 OF SECTION 6, T.8N., R.13E., WHICH BEARS S00°-12'-29"W

SURVEYOR'S CERTIFICATE
I, Steven C. DeJong, Professional Land Surveyor of Meridian Surveying, LLC., certify that I have surveyed the described property and that the map shown is a true and accurate representation thereof to the best of my knowledge and belief.

Dated this 6th day of AUGUST, 2021.

Steven C. DeJong
WISCONSIN PROFESSIONAL LAND SURVEYOR
Steven C. DeJong, S-2791

-CURVE-
RADIUS: 66.00'
DELTA: 17°-28'-24"
LENGTH: 20.13'
CHORD: S52°-56'-48"E (S52°-11'-34"E) 20.05'



MERIDIAN SURVEYING, LLC

N9637 Friendship Drive Kaukauna, WI 54130 Office: 920-993-0881 Fax: 920-273-6037

DRAWN BY: J.B.	FIELD WORK DATE: 7-30-21
CHECKED BY: S.C.D.	FIELD BOOK: X
JOB NO.: 13029	SHEET 1 of 2

SURVEYED FOR:
EDGE CONSULTING ENGINEERS, INC.
624 WATER STREET PRAIRIE DU SAC, WI 53578

Parcel 1

A part of the Southwest Quarter (SW1/4) of the Northeast Quarter (NE1/4) of Section Six (6), Township Eight (8) North, Range Thirteen (13) East; City of Waterloo, Jefferson County, Wisconsin containing 7,120 square feet (0.163 acres) of land and being described by:

Commencing at the East Quarter Corner of said Section 6; thence S87°-08'-47"W 1310.77 feet along the south line of the NE1/4 of said Section 6 to the southeast corner of Hiawatha Trail Addition to Indian Hills subdivision as recorded in Volume 10 on Page 61; thence S87°-15'-16"W 179.37 feet along the south line of said Hiawatha Trail Addition to Indian Hills; thence continue along said south line of said Hiawatha Trail Addition to Indian Hills S87°-27'-28"W 418.40 feet; thence S87°-27'-28"W 100.01 feet along the north line of Indian Hills subdivision as recorded as Document No. 666947 to the northeast corner of Outlot 6 of Indian Hills South subdivision as recorded as Document No. 755854 and the point of beginning; thence S87°-10'-40"W 65.90 feet along the north line of said Outlot 6; thence N01°-33'-56"W 120.22 feet to the southwest corner of Lot 22 of said Hiawatha Trail Addition to Indian Hills; thence S74°-51'-58"E 66.64 feet along the south line of said Lot 22; thence S02°-44'-57"E 99.65 feet to the point of beginning. Being subject to any and all easements and restrictions of record.

Parcel 2

A part of the Southwest Quarter (SW1/4) of the Northeast Quarter (NE1/4) of Section Six (6), Township Eight (8) North, Range Thirteen (13) East; City of Waterloo, Jefferson County, Wisconsin containing 9,980 square feet (0.229 acres) of land and being described by:

Commencing at the East Quarter Corner of said Section 6; thence S87°-08'-47"W 1310.77 feet along the south line of the NE1/4 of said Section 6 to the southeast corner of Hiawatha Trail Addition to Indian Hills subdivision as recorded in Volume 10 on Page 61; thence S87°-15'-16"W 179.37 feet along the south line of said Hiawatha Trail Addition to Indian Hills; thence continue along said south line of said Hiawatha Trail Addition to Indian Hills S87°-27'-28"W 418.40 feet to the point of beginning; thence S87°-27'-28"W 100.01 feet along the north line of Indian Hills subdivision as recorded as Document No. 666947; thence N02°-44'-57"W 99.65 feet to a point on the south line of Lot 22 of said Hiawatha Trail Addition to Indian Hills; thence N87°-16'-10"E 99.96 feet along said south line of Lot 22 and its easterly extension to a point on the northerly extension of the west line of Lot 23 of said Hiawatha Trail Addition to Indian Hills; thence S02°-46'-27"E 99.98 feet along said west line of Lot 23 and its northerly extension to the point of beginning. Being subject to any and all easements and restrictions of record.

Parcel 3

All of Outlot 1 of Hiawatha Trail Addition to Indian Hills subdivision as recorded in Volume 10 on Page 61. Being located in Southwest Quarter (SW1/4) of the Northeast Quarter (NE1/4) of Section Six (6), Township Eight (8) North, Range Thirteen (13) East; City of Waterloo, Jefferson County, Wisconsin.

Survey Notes:

Lands contained in this survey are wholly located in the following parcels:

Parcel No. 290-0813-0613-034

- Owner of Record: Jefferson County
- Deed: Document No. 1385943

Parcel No. 290-0813-0613-001

- Owner of Record: City of Waterloo Water & Light Commission
- Deed: Document No. 665025

Parcel No. 290-0813-0613-032

- Owner of Record: City of Waterloo
- Deed: Document No. 876925

PLAT OF SURVEY

BEING A PART OF THE SW1/4 OF THE NE1/4, SECTION 6, T.8N., R.13E., CITY OF WATERLOO, JEFFERSON COUNTY, WISCONSIN



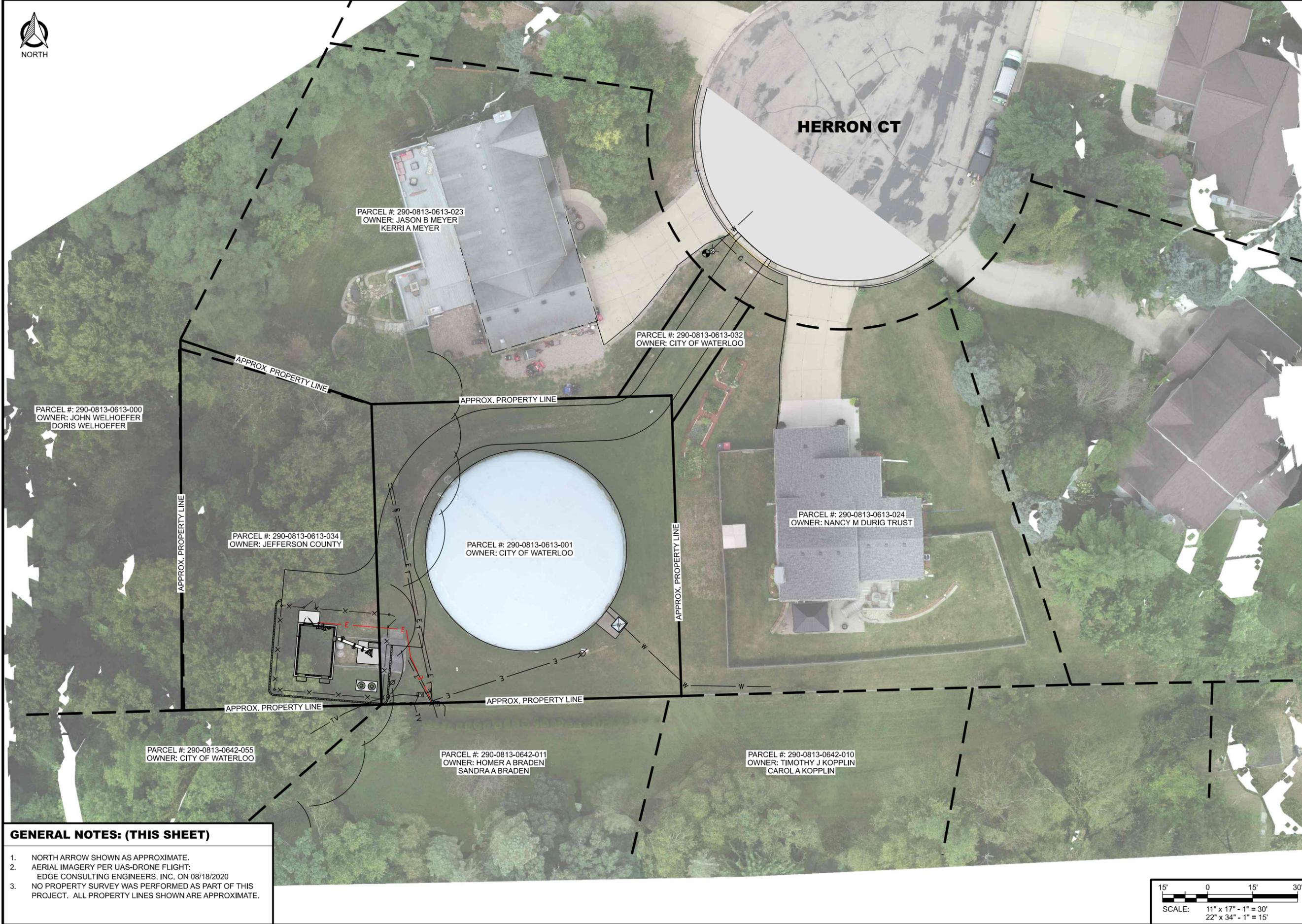
MERIDIAN SURVEYING, LLC <small>N9637 Friendship Drive Kaukauna, WI 54130</small>	<small>DRAWN BY:</small> J.B.	<small>FIELD WORK DATE:</small> 7-30-21	<small>SURVEYED FOR:</small> EDGE CONSULTING ENGINEERS, INC. 624 WATER STREET PRAIRIE DU SAC, WI 53578
	<small>CHECKED BY:</small> C.A.K.	<small>FIELD BOOK:</small> X	
	<small>JOB NO.:</small> 13029	<small>SHEET</small> 2 <small>OF</small> 2	



CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53578
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 608.644.1549 FAX
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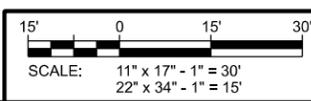


CLIENT:
OVERALL SITE PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN



GENERAL NOTES: (THIS SHEET)

1. NORTH ARROW SHOWN AS APPROXIMATE.
2. AERIAL IMAGERY PER UAS-DRONE FLIGHT: EDGE CONSULTING ENGINEERS, INC. ON 08/18/2020
3. NO PROPERTY SURVEY WAS PERFORMED AS PART OF THIS PROJECT. ALL PROPERTY LINES SHOWN ARE APPROXIMATE.



SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	C-101

R:\27651\27651.dgn

KEYNOTES: (THIS SHEET)

A. 12' WIDE ASPHALT DRIVEWAY



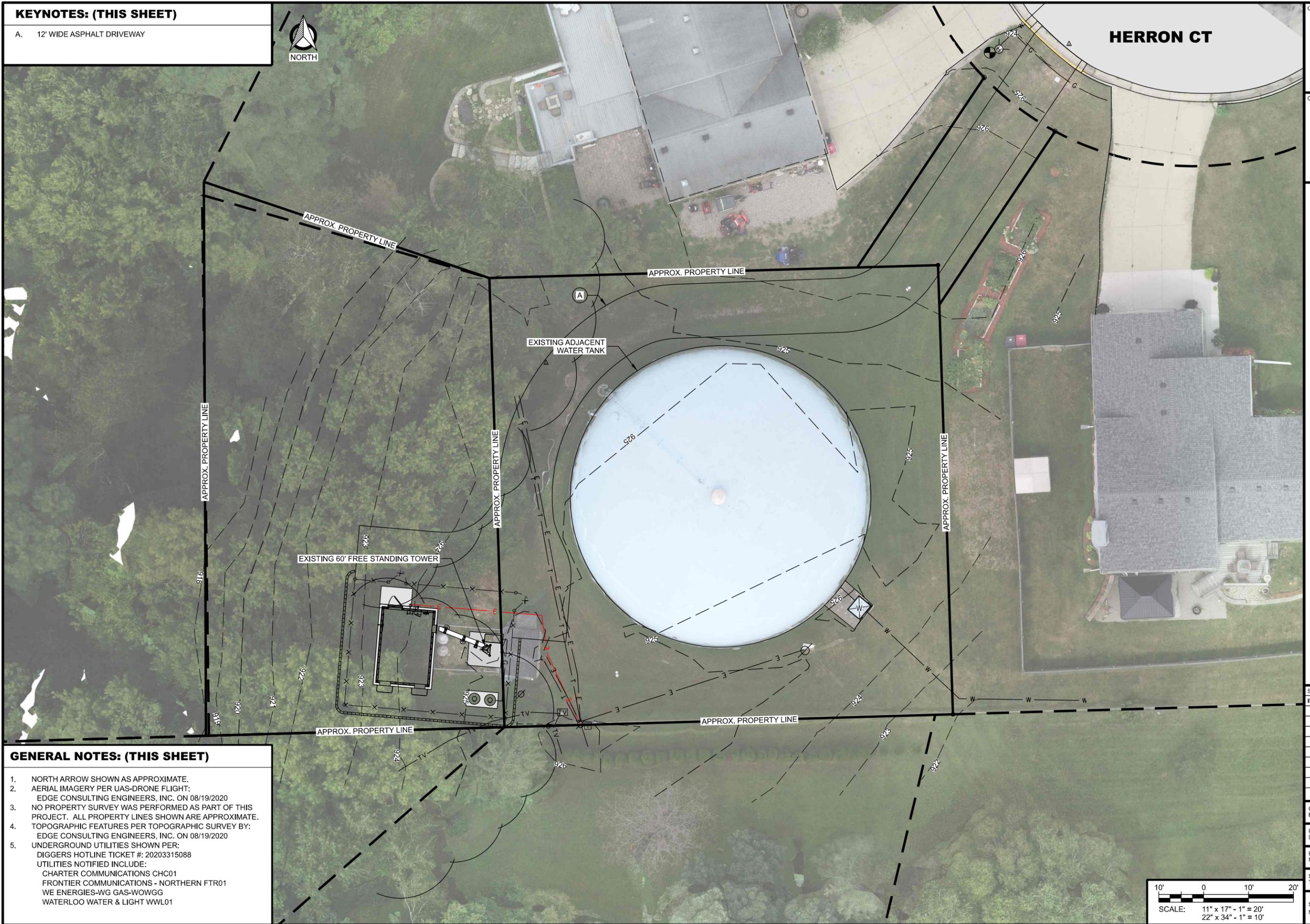
CONSULTANT:

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Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
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www.edgeconsult.com

CLIENT:



**ENLARGED SITE PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN**



GENERAL NOTES: (THIS SHEET)

1. NORTH ARROW SHOWN AS APPROXIMATE.
2. AERIAL IMAGERY PER UAS-DRONE FLIGHT:
EDGE CONSULTING ENGINEERS, INC. ON 08/19/2020
3. NO PROPERTY SURVEY WAS PERFORMED AS PART OF THIS PROJECT. ALL PROPERTY LINES SHOWN ARE APPROXIMATE.
4. TOPOGRAPHIC FEATURES PER TOPOGRAPHIC SURVEY BY:
EDGE CONSULTING ENGINEERS, INC. ON 08/19/2020
5. UNDERGROUND UTILITIES SHOWN PER:
DIGGERS HOTLINE TICKET #: 20203315088
UTILITIES NOTIFIED INCLUDE:
CHARTER COMMUNICATIONS CHC01
FRONTIER COMMUNICATIONS - NORTHERN FTR01
WE ENERGIES-WG GAS-WOWGG
WATERLOO WATER & LIGHT WWL01

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

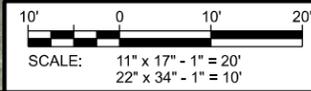
CHECKED BY: AJO

PLOT DATE: 8/11/2021

PROJECT NUMBER: 27651

SET TYPE: CB1

SHEET NUMBER: **C-102**



R:\27651\27651\Design\CAD\CB1\Plan\IC-102.dgn



KEYNOTES: (THIS SHEET)

- A. EXISTING 17 KW HONEYWELL GENERATOR MODEL #: 006260R2 TO BE RELOCATED BY CONTRACTOR
- B. EXISTING 120 GAL. LP TANK TO BE RELOCATED BY CONTRACTOR (TYP. OF 2)
- C. EXISTING FENCE TO BE REMOVED BY CONTRACTOR
- D. EXISTING EQUIPMENT BUILDING TO BE REMOVED AFTER NEW CONSTRUCTION IS COMPLETE AND NEW RADIO SYSTEM IS OPERATIONAL.
- E. EXISTING ELECTRIC METER TO BE REMOVED AFTER NEW CONSTRUCTION IS COMPLETE AND NEW RADIO SYSTEM IS OPERATIONAL.
- F. CLEARING AND GRUBBING LIMITS

CONSULTANT:

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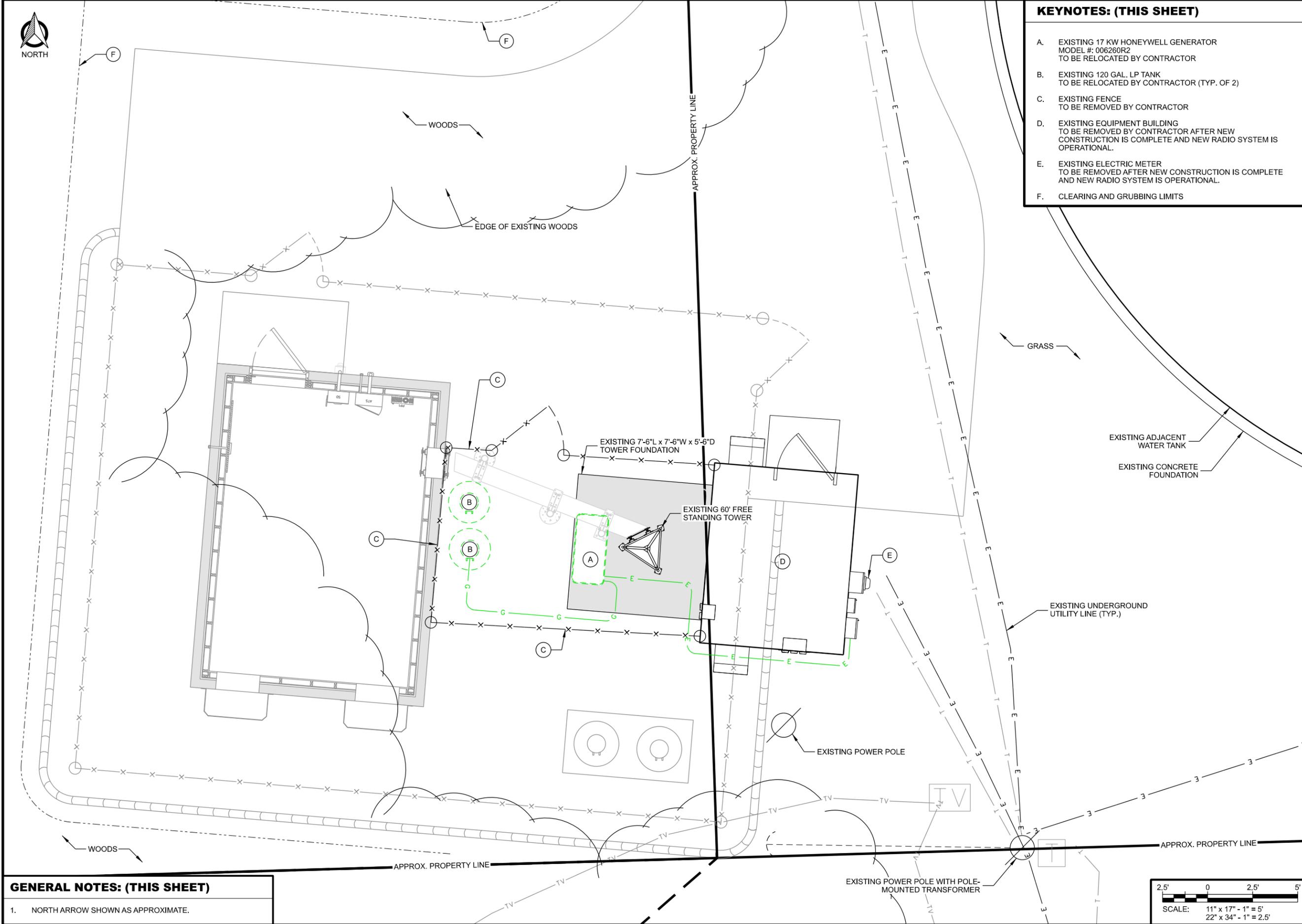


**DEMOLITION PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN**

SUBMITTAL:

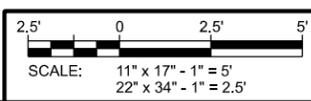
INT.	DATE:	DESCRIPTION:

CHECKED BY	AJO
PLOT DATE	8/11/2021
PROJECT NUMBER	27651
SET TYPE	CB1
SHEET NUMBER	C-103



GENERAL NOTES: (THIS SHEET)

1. NORTH ARROW SHOWN AS APPROXIMATE.



R:\27651\27651.dgn



KEYNOTES: (THIS SHEET)

- A. JEFFERSON COUNTY EQUIPMENT SHELTER; SEE A-101 FOR DETAILS
- B. 4' x 7' CONCRETE STOOP; SEE C-503 FOR DETAILS
- C. 12" WIDE ICE BRIDGE; SEE T-502 FOR DETAILS
- D. RELOCATED 17 KW HONEYWELL GENERATOR MODEL #: 006260R2, 120/240V, 141.7/70.8 A
- E. RELOCATED 120 GAL. LP TANK ON NEW 3'-6" x 7'-0" CONCRETE PAD (TYP. OF 2)
- F. COMPOUND FENCE; SEE C-502 FOR DETAILS
- G. 4' WIDE MAN GATE (TYP. OF 2); SEE C-502 FOR DETAILS
- H. CLEARANCE ZONE/SETBACKS:
 - 10' AROUND LP TANK(S)
 - 3' AROUND GENERATOR
- I. SIGNAGE:
 - (0) ASR. INSTALL ON VEHICLE GATE.
 - (1) SITE IDENTIFICATION. INSTALL ON SHELTER DOOR.
 - (4) RF NOTICE. INSTALL ON EACH SIDE OF FENCE.
 - (2) RF CAUTION. INSTALL ON SHELTER DOOR AND TOWER
 - (1) OSHA DANGER. INSTALL ON VEHICLE GATE.
 - (1) NFPA LP FUEL. INSTALL ON VEHICLE GATE
- J. GATE LOCKS
(2) PACKLOCKS BY CONTRACTOR, (1) EACH GATE
- K. GRAVEL COMPOUND W/ PERIMETER LANDSCAPE PAVER EDGING; SEE DETAILS B/C-501 & D/C-501
- L. BOLTED ICE BRIDGE POST. WELD 8"x8"x1/4" BASE PLATE TO BOTTOM OF POST. FASTEN TO CONCRETE FOUNDATION W/ (4) 1/2"x3-1/2" ANCHOR BOLTS. ALL MATERIALS TO BE GALVANIZED.
- M. 12' WIDE ASPHALT DRIVEWAY & TURNAROUND; SEE DETAIL A/C-501

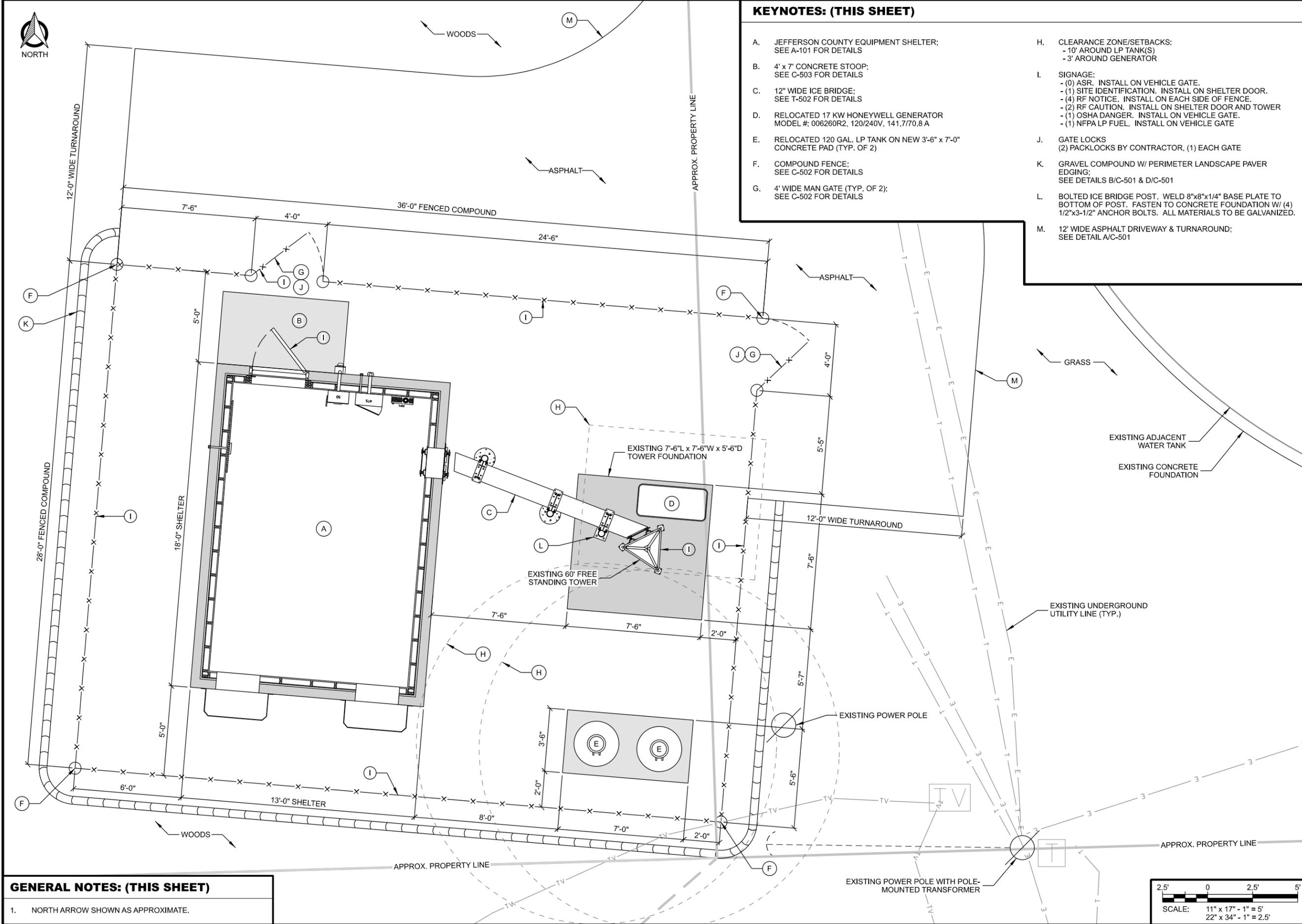
CONSULTANT:

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CLIENT:

**COMPOUND PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN**



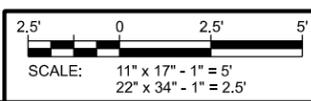
GENERAL NOTES: (THIS SHEET)

1. NORTH ARROW SHOWN AS APPROXIMATE.

SUBMITTAL:

INT.	DATE	DESCRIPTION:

CHECKED BY	AJO
PLOT DATE	8/11/2021
PROJECT NUMBER	27651
SET TYPE	CB1
SHEET NUMBER	C-104



R:\27651\27651.dwg

GRADING NOTES: (THIS SHEET)

1. CONTOUR INTERVAL IS 1 FOOT.
2. PERIMETER CONTROLS AND STONE TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING OPERATIONS. STONE TRACKING PAD SHALL BE A 12'X50' MIN. CONSISTING OF 3" BREAKER STONE.
3. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES, BEYOND THOSE SHOWN IN THIS PLAN, SUITABLE FOR THEIR MEANS AND METHODS TO KEEP ALL SEDIMENT ON SITE DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES IMPLEMENTATION OF SILT FENCE, EROSION BALES, TRACKING PADS, DIVERSION BERMS AND/OR OTHER APPROPRIATE DEVICES.
4. CONTRACTOR SHALL GRADUALLY MATCH INTO EXISTING GRADE. NO PROPOSED EARTHWORK SHALL HAVE A GREATER SLOPE THAN 3:1. FINISHED SITE TO BE GRADED TO MAINTAIN POSITIVE DRAINAGE IN ALL AREAS.
5. DRIVEWAY GRADE WITHIN 25 FEET OF PUBLIC ROAD ACCESS POINT SHALL BE LESS THAN 10% (10:1).
6. FINISHED GRADE SLOPES GREATER THAN 10:1, DITCH BOTTOMS AND GRASS SURFACES WITHIN 6 FEET OF ANY PAVED OR GRAVEL SURFACE REQUIRE EROSION MAT (CLASS II, URBAN TYPE B)
7. ALL DISTURBED GRASS/TURF AREAS SHALL BE RESTORED WITH TOPSOIL, SEED AND MULCH. TOPSOIL TO BE 6-INCHES MINIMUM. SEED TO CONSIST OF NATIVE PURE LIVE SEED (PLS) AT 98% PURITY AND 95% GERMINATION. MULCH TO BE WEED-FREE GRAIN STRAW.
8. CONTRACTOR TO PERFORM MAINTENANCE AND INSPECTION OF EROSION CONTROL DEVICES AND EXPOSED GRADE THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES ON A WEEKLY BASIS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT 0.5 INCHES OR GREATER WHICH RESULTS IN RUNOFF. CONTRACTOR SHALL CONTINUE MAINTENANCE AND INSPECTION UNTIL FULL VEGETATION ESTABLISHMENT AND/OR PROJECT ACCEPTANCE.
9. CONTRACTOR TO REMOVE EROSION CONTROL MEASURES AFTER PROJECT ACCEPTANCE.

GENERAL NOTES: (THIS SHEET)

1. EXISTING SITE MAPPING DATA IS FROM TOPOGRAPHIC SURVEY PERFORMED BY EDGE CONSULTING ENGINEERS ON 19-08-2020.
2. CONTRACTOR IS RESPONSIBLE FOR EARTHWORK NECESSARY TO ACHIEVE DESIGN GRADES. THIS INCLUDES IMPORT OR EXPORT OF MATERIAL.

LEGEND: (THIS SHEET)

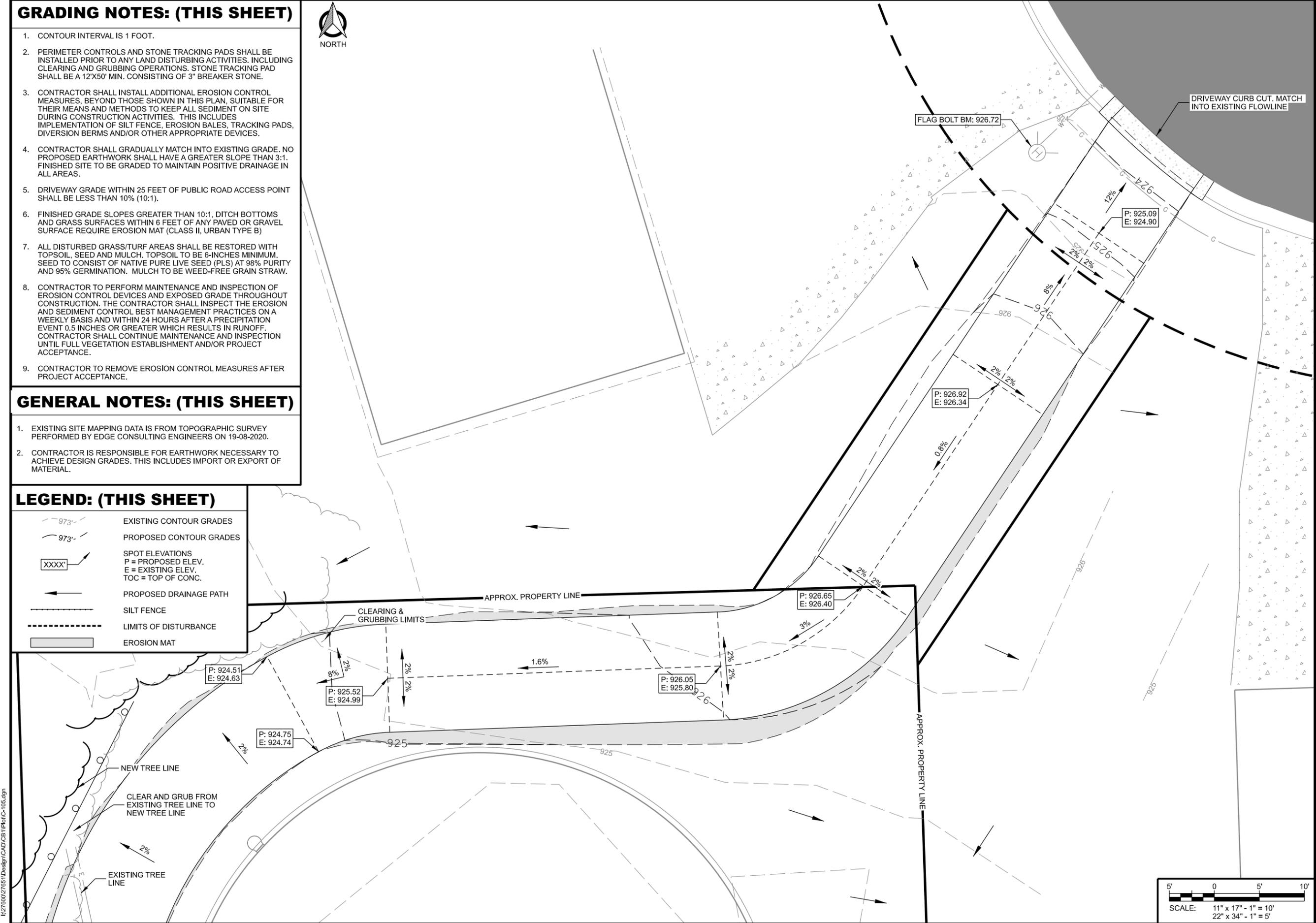
- EXISTING CONTOUR GRADES
- PROPOSED CONTOUR GRADES
- SPOT ELEVATIONS
P = PROPOSED ELEV.
E = EXISTING ELEV.
TOC = TOP OF CONC.
- PROPOSED DRAINAGE PATH
- SILT FENCE
- LIMITS OF DISTURBANCE
- EROSION MAT



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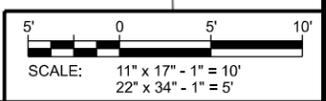
GRADING AND EROSION CONTROL PLAN WATERLOO (27651) WATERLOO, WISCONSIN



SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	C-105



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GRADING NOTES: (THIS SHEET)

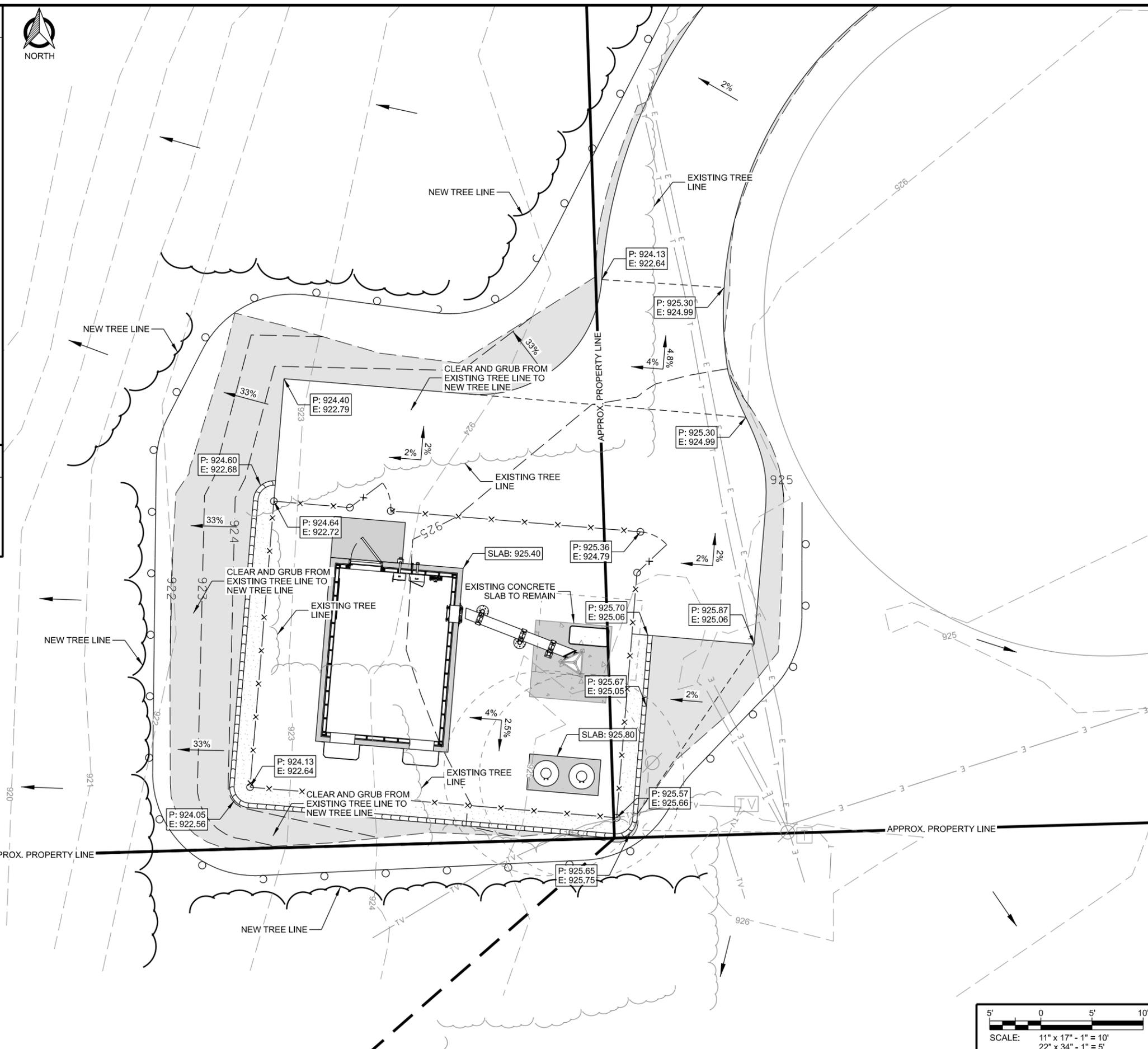
1. CONTOUR INTERVAL IS 1 FOOT.
2. PERIMETER CONTROLS AND STONE TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING OPERATIONS. STONE TRACKING PAD SHALL BE A 12'X50' MIN. CONSISTING OF 3" BREAKER STONE.
3. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES, BEYOND THOSE SHOWN IN THIS PLAN, SUITABLE FOR THEIR MEANS AND METHODS TO KEEP ALL SEDIMENT ON SITE DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES IMPLEMENTATION OF SILT FENCE, EROSION BALES, TRACKING PADS, DIVERSION BERMS AND/OR OTHER APPROPRIATE DEVICES.
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8. CONTRACTOR TO PERFORM MAINTENANCE AND INSPECTION OF EROSION CONTROL DEVICES AND EXPOSED GRADE THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES ON A WEEKLY BASIS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT 0.5 INCHES OR GREATER WHICH RESULTS IN RUNOFF. CONTRACTOR SHALL CONTINUE MAINTENANCE AND INSPECTION UNTIL FULL VEGETATION ESTABLISHMENT AND/OR PROJECT ACCEPTANCE.
9. CONTRACTOR TO REMOVE EROSION CONTROL MEASURES AFTER PROJECT ACCEPTANCE.

GENERAL NOTES: (THIS SHEET)

1. EXISTING SITE MAPPING DATA IS FROM TOPOGRAPHIC SURVEY PERFORMED BY EDGE CONSULTING ENGINEERS ON 19-08-2020.
2. CONTRACTOR IS RESPONSIBLE FOR EARTHWORK NECESSARY TO ACHIEVE DESIGN GRADES. THIS INCLUDES IMPORT OR EXPORT OF MATERIAL.

LEGEND: (THIS SHEET)

- EXISTING CONTOUR GRADES
- PROPOSED CONTOUR GRADES
- SPOT ELEVATIONS
P = PROPOSED ELEV.
E = EXISTING ELEV.
TOC = TOP OF CONC.
- PROPOSED DRAINAGE PATH
- SILT FENCE
- LIMITS OF DISTURBANCE
- EROSION MAT



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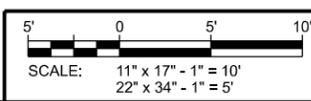
GRADING AND EROSION CONTROL PLAN

WATERLOO (27651)
WATERLOO, WISCONSIN

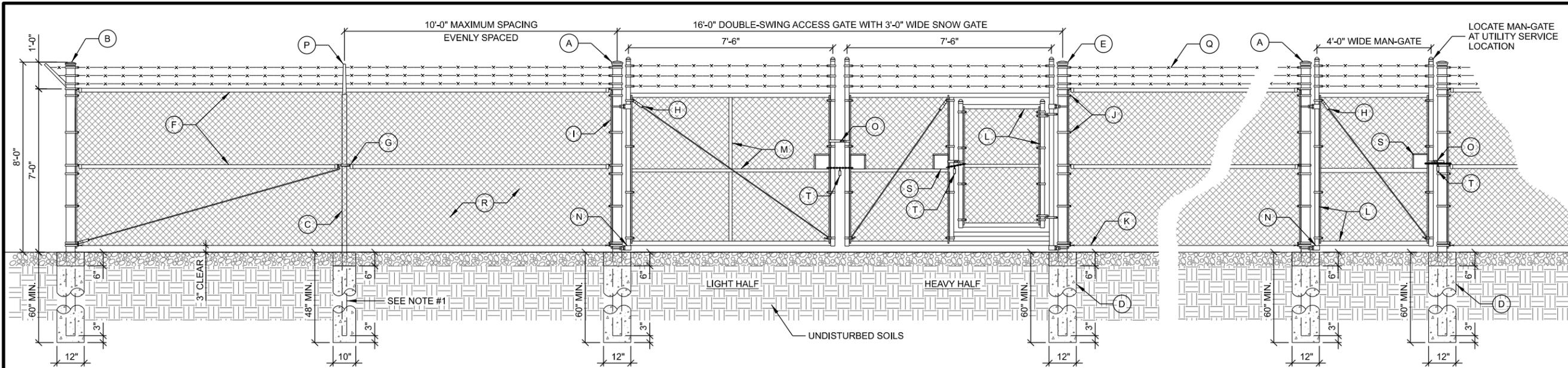
SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	C-106



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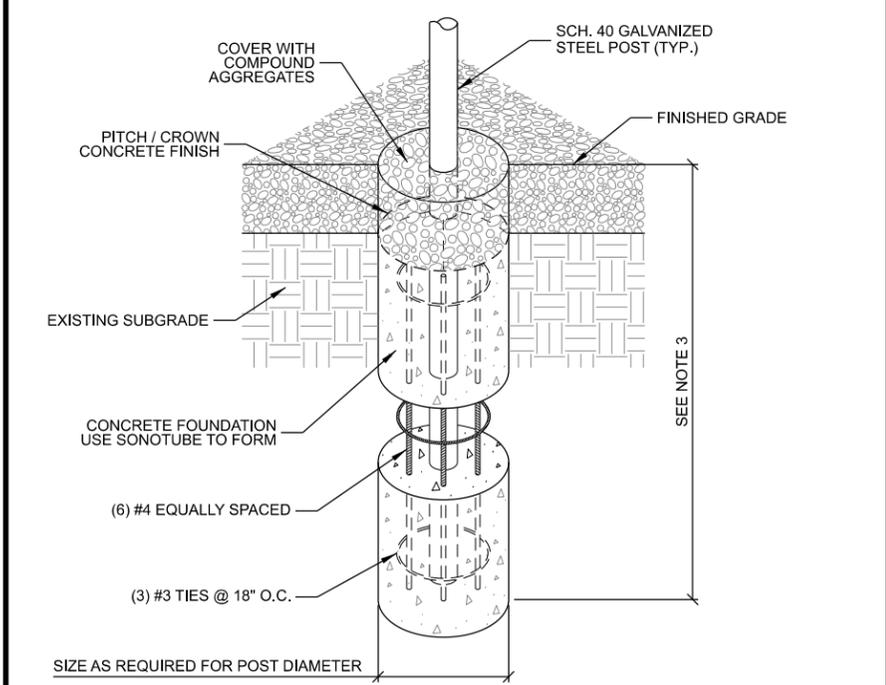


KEY NOTES: (THIS DETAIL)

- | | | |
|---|---|---|
| (A) 3-1/2" (4" O.D.) SCH. 40 GALV. STEEL GATE POST | (G) OFFSET BRACE RAIL ENDS FOR MID BRACE RAIL | (N) MALLEABLE BUTT HINGES (TYP.) |
| (B) 2-1/2" (2-7/8" O.D.) SCH. 40 GALV. STEEL CORNER POST | (H) 5/16" O.D. TRUSS ROD WITH TRUSS TIGHTENER ASSEMBLY | (O) GATE LATCH; VERIFY REQUIREMENTS WITH FENCE MANUFACTURER |
| (C) 2" (2-3/8" O.D.) SCH. 40 GALV. STEEL LINE POSTS; LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.; SEE NOTE #1 | (I) 3/16" x 3/4" STRETCHER BAR; TO EXTEND FULL HEIGHT OF FENCE FABRIC | (P) 45° BARB ARM FENCE POST CAP |
| (D) CONCRETE POST FOUNDATION; 12" DIA. AT GATE & CORNER POSTS, 10" DIA. AT LINE POSTS SEE DETAIL BELOW | (J) 3/4" TENSION BAND (TYP.) | (Q) (3) STRANDS OF 4 PT. GALV. BARB WIRE |
| (E) FENCE POST CAP (SIZE VARIES) | (K) TENSION WIRE (7 GAUGE) | (R) FENCE FABRIC; #9 GAUGE GALV. COATED, 2" DIAMOND PATTERN CHAIN LINK; TWISTED TOP SELVAGE AND KNUCKLED BOTTOM SELVAGE |
| (F) 1-1/4" (1.66" O.D.) TOP RAIL & MID BRACE RAIL PIPE | (L) 1-1/2" (1.9" O.D.) SCH. 40 GALV. STEEL FENCE GATE FRAME | (S) 6" x 6" HANDHOLE FOR CHAIN LOCK |
| | (M) 1-1/4" (1.66" O.D.) SCH. 40 GALV. STEEL HORIZONTAL AND VERTICAL GATE BRACES | (T) GATE LOCK |

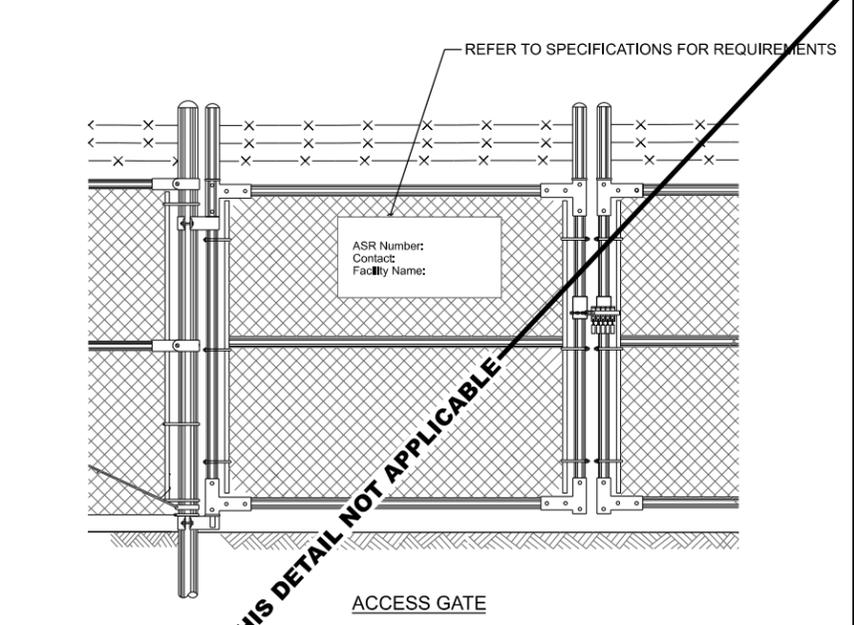
- NOTES:**
- ALL LINE POSTS MAY BE EITHER DRIVEN OR SET IN CONCRETE AT CONTRACTORS OPTION. SEE DETAIL FOR DEPTH AND FOOTING REQUIREMENTS. IF DRIVEN, DRIVE LINE POSTS TO 60" DEPTH MIN.
 - ALL FENCE POSTS AND FRAMING TO BE SCH. 40 GALVANIZED STEEL. SEE DETAIL FOR SIZES.

A COMPOUND FENCE



- NOTES:**
- MAINTAIN 3" MINIMUM REBAR COVER WITH CONCRETE IN ALL DIRECTIONS.
 - CONCRETE MIX TO BE 4,000 PSI @ 28 DAYS.
 - FOUNDATION DEPTH TO EXCEED LOCAL FROST DEPTH, OR 48" MINIMUM.

B FENCE POST PIER FOUNDATION



- GENERAL NOTES:**
- THE ANTENNA STRUCTURE REGISTRATION NUMBER SHALL BE DISPLAYED PER 47 CFR 17.4 (g). THE ASR NUMBER SHALL BE POSTED ON THE PERIMETER FENCE OR ACCESS GATE SO THAT IT IS CONSPICUOUSLY VISIBLE AND LEGIBLE FROM THE PUBLICLY ACCESSIBLE AREA NEAREST THE BASE OF THE ANTENNA STRUCTURE ALONG A PUBLICLY ACCESSIBLE ROADWAY OR PATH.
 - MATERIALS USED TO DISPLAY THE ANTENNA STRUCTURE REGISTRATION NUMBER MUST BE WEATHER-RESISTANT AND OF SUFFICIENT SIZE TO BE EASILY SEEN WHERE POSTED.

C ANTENNA STRUCTURE REGISTRATION (ASR) SIGNAGE

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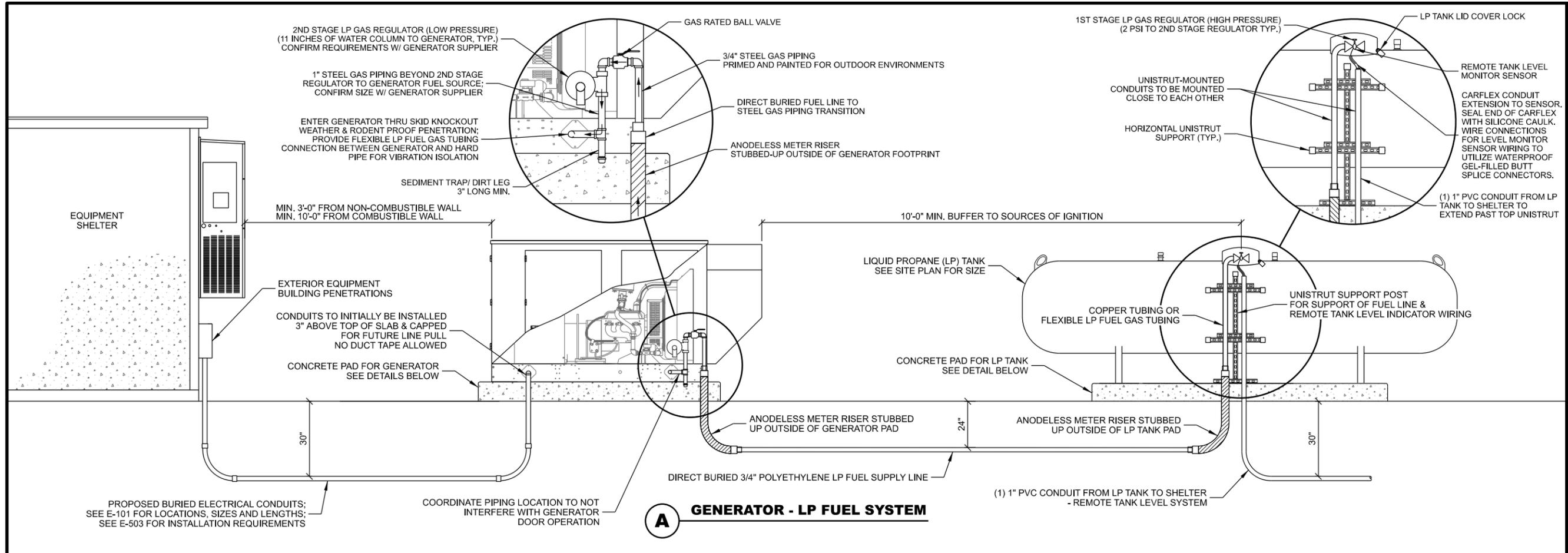


CLIENT:
FENCE DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	C-502



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GENERATOR FUEL SYSTEM DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

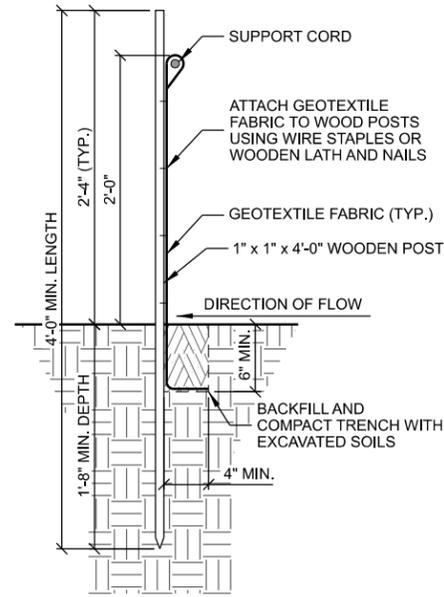
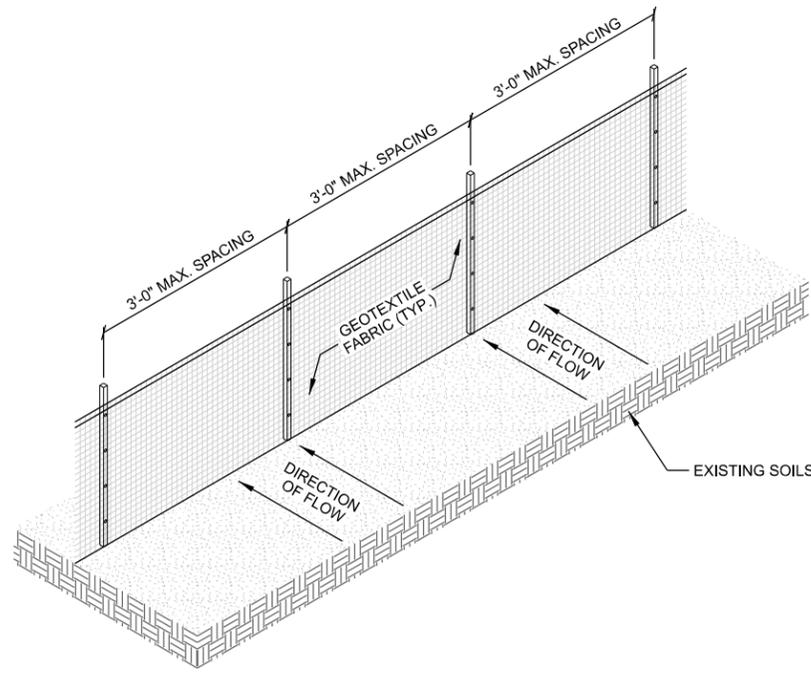
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SUBMITTAL:

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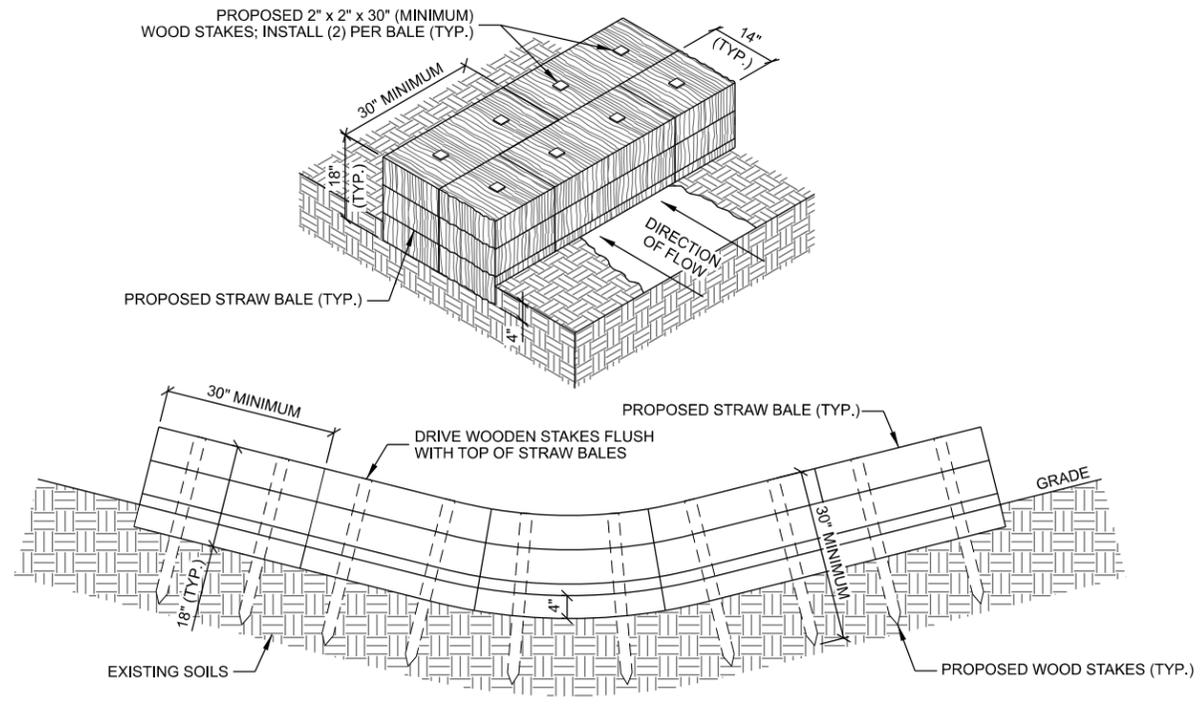
CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	C-504

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- NOTES:
1. TRENCH SHALL BE SIZED TO ACHIEVE ADEQUATE GEOTEXTILE FABRIC ANCHORAGE. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 2. WOOD POSTS SHALL BE HICKORY OR OAK.
 3. 8'-0" POST SPACING IS ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.
 4. ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOIL CONDITIONS.

A SILT FENCE



- NOTES:
1. STAGGER JOINTS BETWEEN ADJACENT ROWS OF BALES.
 2. ALL DIMENSIONS ARE APPROXIMATE.

B STRAW BALE DITCH CHECK

THIS SPACE INTENTIONALLY LEFT BLANK

CONSULTANT:
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 Consulting Engineers, Inc.
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GRADING & EROSION CONTROL DETAILS
 WATERLOO (27651)
 WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE	DESCRIPTION

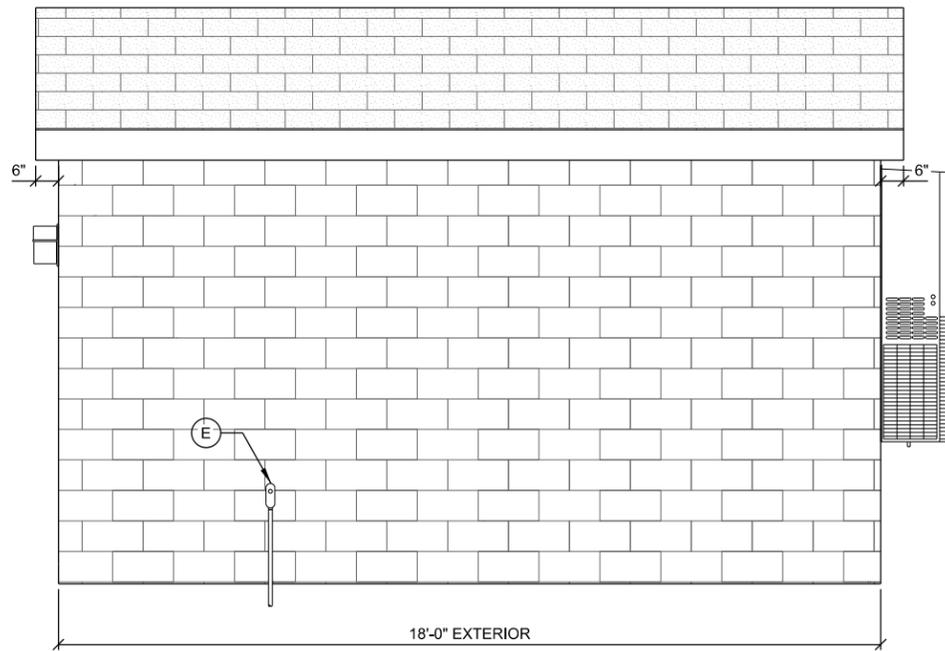
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PLOT DATE	8/11/2021
PROJECT NUMBER	27651
SET TYPE	CB1
SHEET NUMBER	C-505

KEYNOTES: (THIS SHEET)

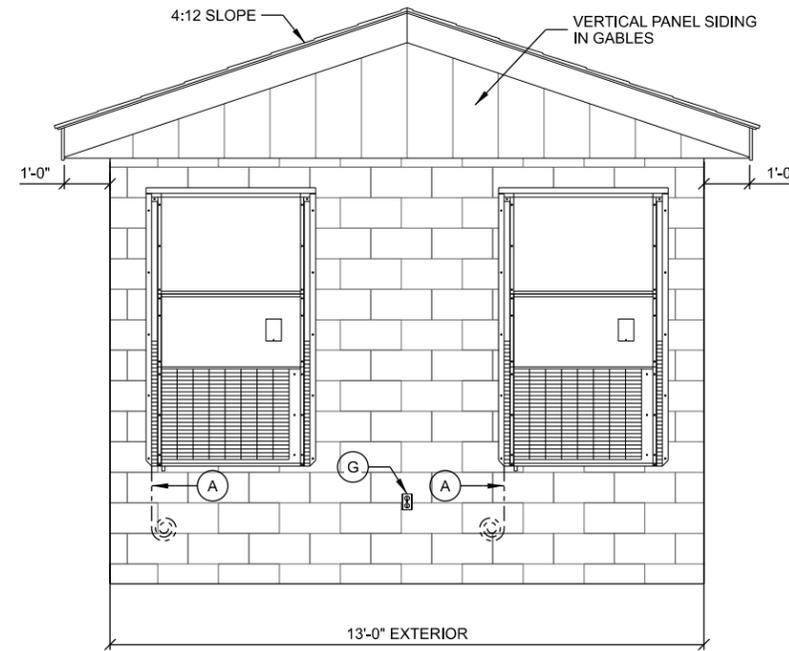
- A. (2) #2 SOLID TINNED GROUND LEADS TO SITE GROUND SYSTEM
- B. 2" CONDUIT TO SINGLE ELECTRIC METER (AC POWER)
- C. 2" CONDUIT TO GENERATOR (AC POWER)
- D. 1" CONDUIT TO GENERATOR (CONTROL & ALARM)
- E. 1" CONDUIT TO LP TANK (REMOTE LEVEL MONITOR)
- F. #6 STRANDED INSULATED BONDING JUMPER TO ENTRY PORT PLATE
- G. EXTERIOR GFCI RECEPTACLE
- H. EXTERIOR LIGHT (WALL PACK)
- I. LATCH GUARD

GENERAL NOTES: (THIS SHEET)

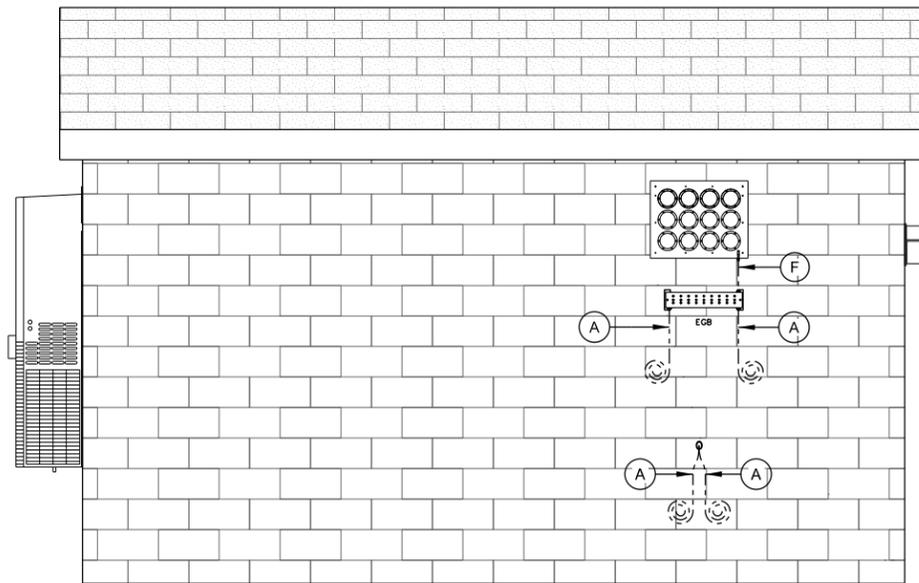
1. ALL PVC CONDUITS TO BUILDING TO INCLUDE SLIP JOINTS WHEN EXITING GRADE.
2. ALL MECHANICAL GROUND CONNECTIONS TO UTILIZE TWO HOLE LUGS, STAINLESS STEEL HARDWARE AND "NO-OX" COMPOUND ON CONNECTIONS. SELF TAPPING SCREWS ARE NOT ALLOWED.
3. ALL EXTERIOR METALLIC CONDUITS AND BOXES TO BE PROVIDED WITH GROUND BOND CONNECTION VIA THROUGH WALL HUB CONNECTION TO INTERIOR GROUNDED DEVICE OR OTHER DIRECT CONNECTION TO GROUND SYSTEM. ALL MECHANICAL CONNECTIONS SHALL INCLUDE ANTI OXIDANT COMPOUND BETWEEN LUG & CONNECTION POINT. USE COPPER ANTI-OXIDANT FOR COPPER TO COPPER CONNECTIONS.



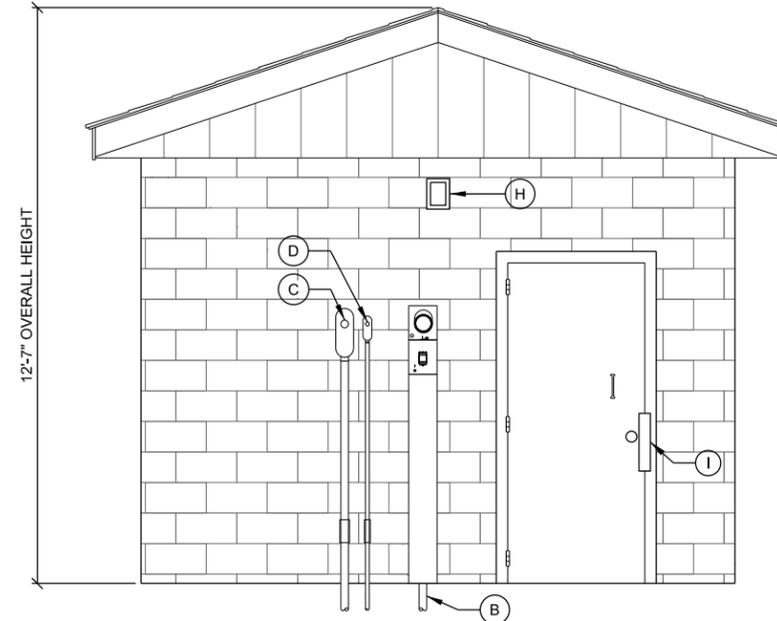
A EXTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



B EXTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



C EXTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"



D EXTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"

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SHELTER ELEVATIONS: EXTERIOR
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

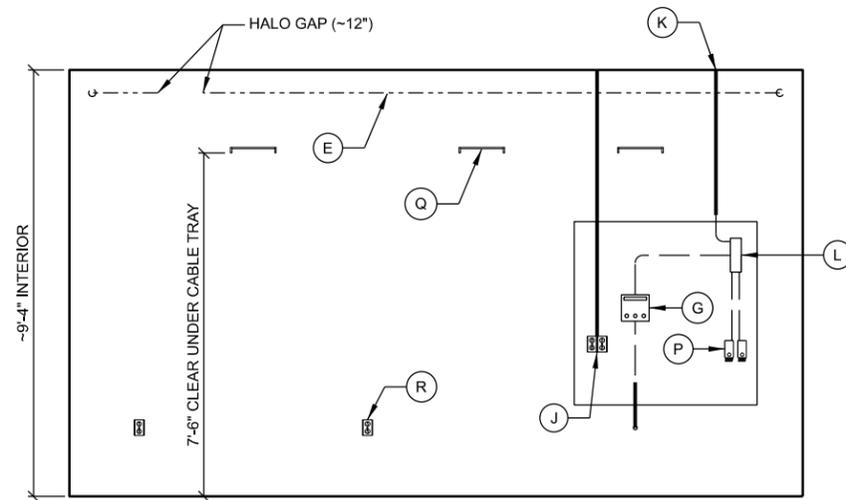
CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	A-201

KEYNOTES: (THIS SHEET)

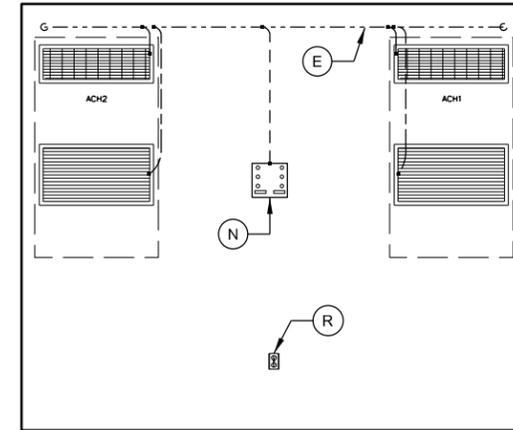
- A. AUTOMATIC TRANSFER SWITCH (ATS) PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR; INSTALL AT 6'-0" ABOVE FINISH FLOOR
- B. CONDUIT/RACEWAY BETWEEN ELECTRICAL BOXES (TYP.)
- C. 60A CIRCUIT BREAKER & SPD1 ON ELEC. SERVICE DISCONNECT
- D. BOND ALL DEVICE BOXES (ATS, SPD1 & SPD2) TO HALO (#6 STRANDED INSULATED)
- E. GROUNDING HALO (#2 STRANDED INSULATED)
- F. SPD2 ON DIST. PANEL (PP1)
- G. LP TANK LEVEL MONITOR
- H. MASTER GROUND BAR. FOLLOW PANI SYSTEM FOR ORGANIZATION OF CONNECTIONS TO BAR
- I. COAXIAL SURGE PROTECTOR TRAPEZE GROUND SYSTEM
- J. LP TANK LEVEL MONITOR DOUBLE DUPLEX OUTLET
- K. ALARM WIRING FROM INSTALLED DEVICES
- L. R66 ALARM BLOCK
- M. NEUTRAL-GROUND BOND CONNECTION FROM SD GROUND TERMINAL TO MGB (#2 STRANDED INSULATED). ROUTE ALONG PERIMETER WALL BELOW HALO
- N. HVAC LEAD LAG CONTROLLER
- O. 3/4" ALARM WIRING CONDUIT
- P. HIGH & LOW TEMP ENVIRONMENTAL ALARMS
- Q. CABLE TRAY SYSTEM
- R. RECEPTACLE/CONVENIENCE OUTLET

GENERAL NOTES: (THIS SHEET)

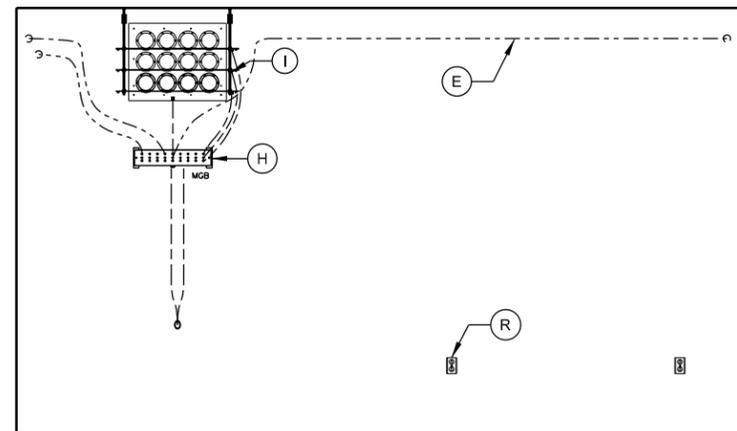
1. ALL INTERIOR CONDUITS TO BE RGS OR EMT. UTILIZE COMPRESSION FITTINGS FOR EMT INSTALLATIONS.
2. ALL MECHANICAL GROUND CONNECTIONS TO UTILIZE TWO HOLE LUGS, STAINLESS STEEL HARDWARE AND "NO-OX" COMPOUND ON CONNECTIONS. SELF TAPPING SCREWS ARE NOT ALLOWED.
3. PROVIDE EMT CONDUIT FOR ALL ALARM AND LOW VOLTAGE WIRING FROM DEVICE TO ALARM BOARD. CONDUITS NEED NOT BE FULL LENGTH AND MAY UTILIZE CABLE TRAY FOR HORIZONTAL RUNS. CONDUITS SHALL EXTEND ABOVE AND OVER TO CABLE TRAY AND PROVIDE BUSHINGS ON ENDS.
4. ALL METALLIC CONDUITS AND BOXES TO BE GROUND BONDED TO HALO.
5. ALL MECHANICAL CONNECTIONS SHALL INCLUDE ANTI OXIDANT COMPOUND BETWEEN LUG & CONNECTION POINT. USE COPPER ANTI-OXIDANT FOR COPPER TO COPPER CONNECTIONS.



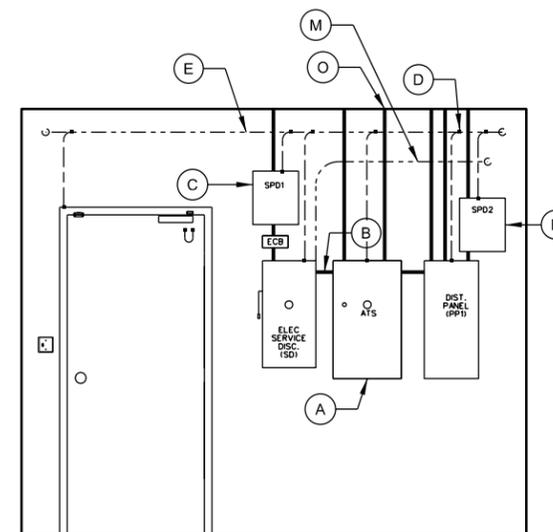
A INTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
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B INTERIOR ELEVATION
SCALE: 11" x 17" - 1/4" = 1'-0"
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D INTERIOR ELEVATION
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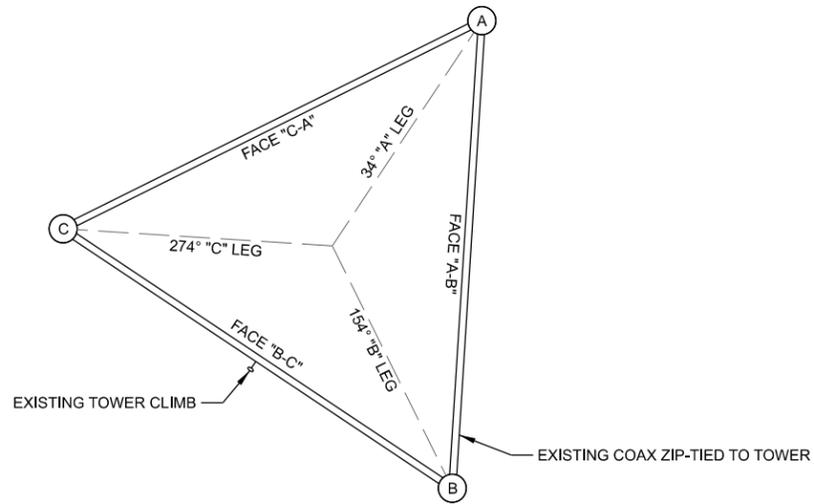


SHELTER ELEVATIONS: INTERIOR
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	A-202



A TOWER ORIENTATION

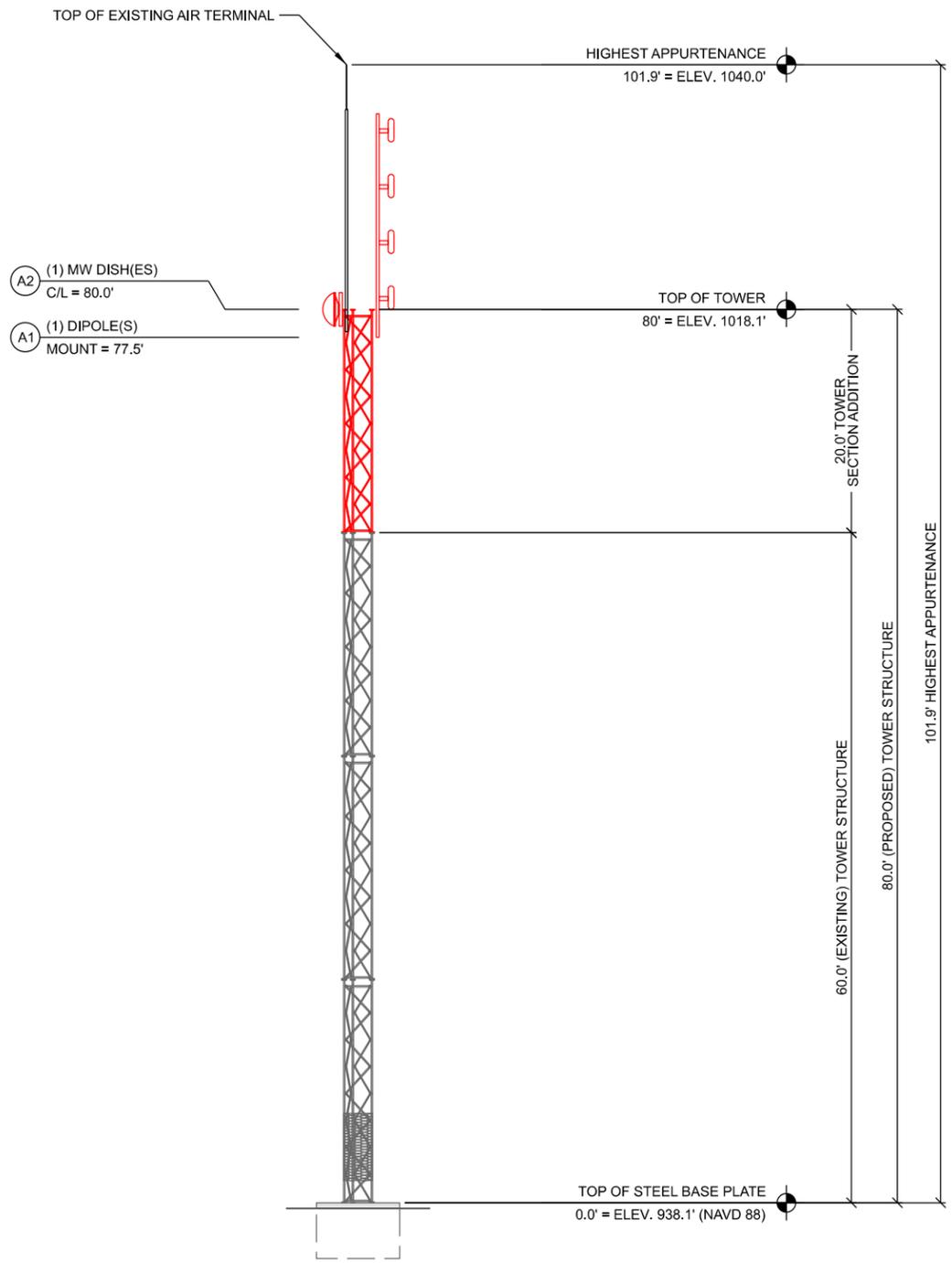
TOWER LOADING

ANTENNA ID	ANTENNA TYPE	(QTY) ANTENNA MODEL SIZE & WEIGHT	TOWER LEG	ANTENNA MOUNT SIZE & WEIGHT	MOUNT HEIGHT (T.O.C.)	C/L HEIGHT (T.O.C.)	C/L ELEV. (NAVD 88)	ANTENNA AZMUTH	TLT (+/-)	Tx LINE (QTY) SIZE	FREQUENCY (MHz)	OWNER USE	NOTES
A1	Dipole	(1) Comprod 876F-70-TM40-14 20.5' Long 67 lbs.	A	Leg Mount (PM-SU4-63) 4.5" OD x 63" Mast Pipe 138.0 lbs.	77.5'	87.8'	1025.9'	315°		(2) LCF78-50JA (7.8")	138-174	Jefferson Co P25 Dual Rx/Tx	To replace existing DB224 Dual Antenna mounted @ 57.8' (Leg A)
A2	MW Dish	(1) radiowaves HP3-11 (TR) 3' Dia 50 lbs.	B	Leg Mount (PM-SU4-63) 4.5" OD x 63" Mast Pipe 138.0 lbs.	80.0'	80.0'	1018.1'	88.4°		(1) LDF2-50 (3.8")	11200	Jefferson Co. Path to Watertown	To replace existing Grid Dish @ 61.8' (Leg B) (Path to Jefferson Main Site)

**** ANTENNA AND LINE INSTALLATION BY OTHERS **
NOT PART OF CONTRACT**

NOTES:
 1. REFER TO ANTENNA MOUNTING DETAILS FOR ADDITIONAL INFO ON MOUNT DESIGN AND MOUNTING REQUIREMENTS.
 2. PROPOSED ANTENNA AND MICROWAVE LOADING IS BASED ON DESIGN SUPPLIED BY GENERAL COMMUNICATIONS, DATED 04/01/2021.

B TOWER LOADING SUMMARY



NOTES:
 1. ALL DIMENSIONS SHOWN ARE REFERENCED FROM THE TOP OF TOWER STEEL BASE PLATE.
 2. ALL ANTENNAS, DISHES, MOUNTS, ICE SHIELDS AND LINES SHALL BE SUPPLIED AND INSTALLED BY OTHERS (??????????).

C TOWER PROFILE (ELEVATION)

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**TOWER LOADING / ELEVATION
 WATERLOO (27651)
 WATERLOO, WISCONSIN**

SUBMITTAL:

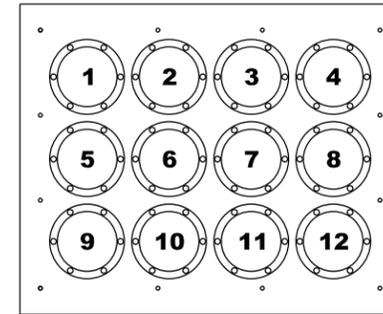
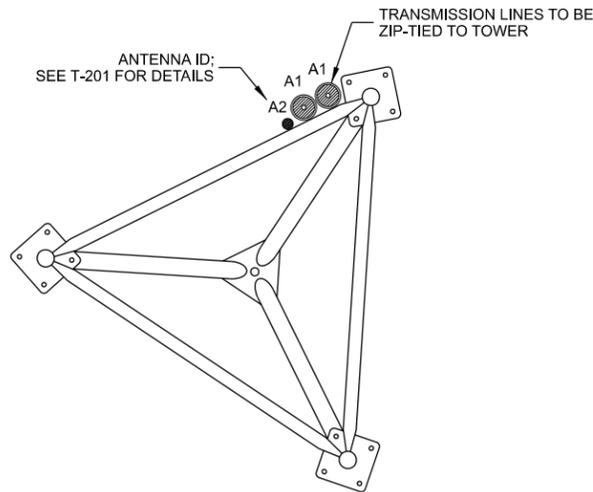
INT.	DATE	DESCRIPTION:

CHECKED BY	AJO
PLOT DATE	8/11/2021
PROJECT NUMBER	27651
SET TYPE	CB1
SHEET NUMBER	T-201

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LEGEND: (THIS SHEET)

SIZE	SYMBOL	O.D.	MIN. BEND RAD.
1-5/8"		1.98"	20"
1-1/4"		1.55"	15"
7/8"		1.09"	10"
1/2"		0.63"	5"
CAT5		0.35"	3"
EW63		2"x1.16"	20"
EWP90-107		1.3"x0.8"	13"
LMR-400		0.4"	1"



ENTRY PANEL PORT ASSIGNMENT			
PORT #	ANTENNA ID	ANTENNA SYSTEM	(QTY.) CABLE SIZE
1	A2	MW DISH	(1) 3/8"
2	A1	P25 DUAL Rx/Tx	(2) 7/8"
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

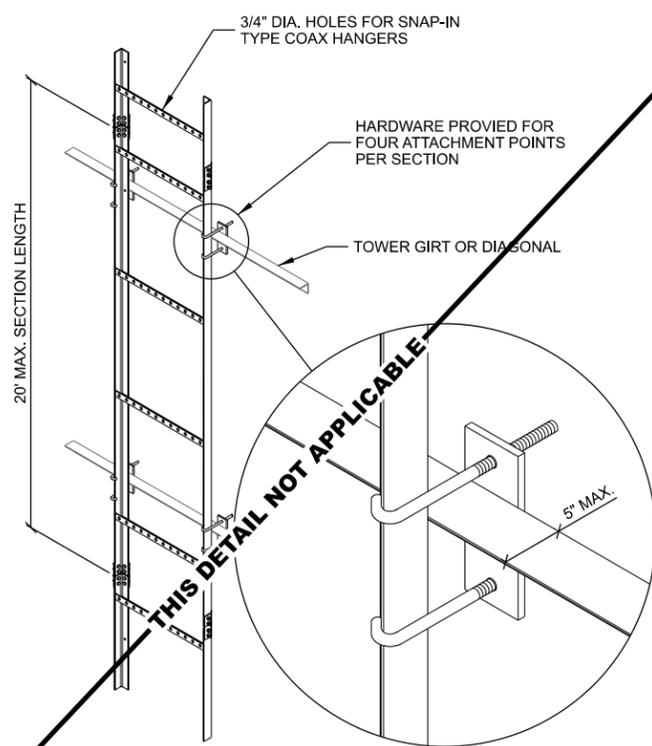
- NOTES:
- REFER TO SHEET T-201 FOR ANTENNA ID REFERENCE AND LADDER INSTALLATION LOCATION.
 - DOUBLE STACKING OF 1-5/8" AND TRIPLE STACKING OF 7/8" COAX IS ALLOWED.
 - DOUBLE STACKING OF WAVEGUIDE IS ALLOWED WHEN USING CUSHION TYPE SNAP IN HANGERS.
 - GROUP LINES WITHIN LADDERS FOR SIMILAR TERMINATION LEVEL. SEPARATE WAVEGUIDE FROM COAX.
 - PROVIDE & INSTALL PROPERLY SIZED SNAP-INS FOR EACH COAX.
 - TOWER LOADING DESIGN SHALL ASSUME (3) COAX LADDERS INSTALLED

- NOTES:
- REFER TO SHEET T-201 FOR ANTENNA ID REFERENCE
 - PORT OPENINGS ARE 4" DIA UNLESS OTHERWISE NOTED.
 - PROVIDE AND INSTALL PROPERLY SIZED BOOTS, CUSHIONS AND PLUGS FOR EACH PORT OPENING INSIDE AND OUTSIDE OF SHELTER.
 - ALL UNUSED PORTS ON ALL ENTRY PANELS TO BE CAPPED & SECURED IN PLACE W/ BLACK CABLE TIE.

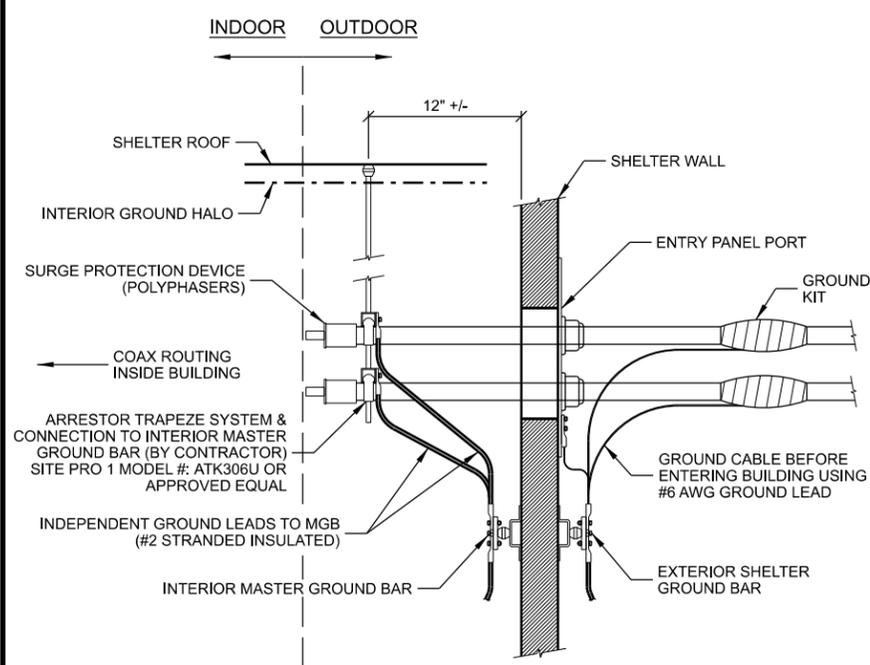
A TRANSMISSION LINE ROUTING

B ENTRY PANEL ROUTING

****TRANSMISSION LINE INSTALLATION BY OTHERS****
NOT PART OF CONTRACT



C VERTICAL TRANSMISSION LINE LADDER



D CABLE ENTRY

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CLIENT:

JEFFERSON COUNTY WI
ESTABLISHED 1838

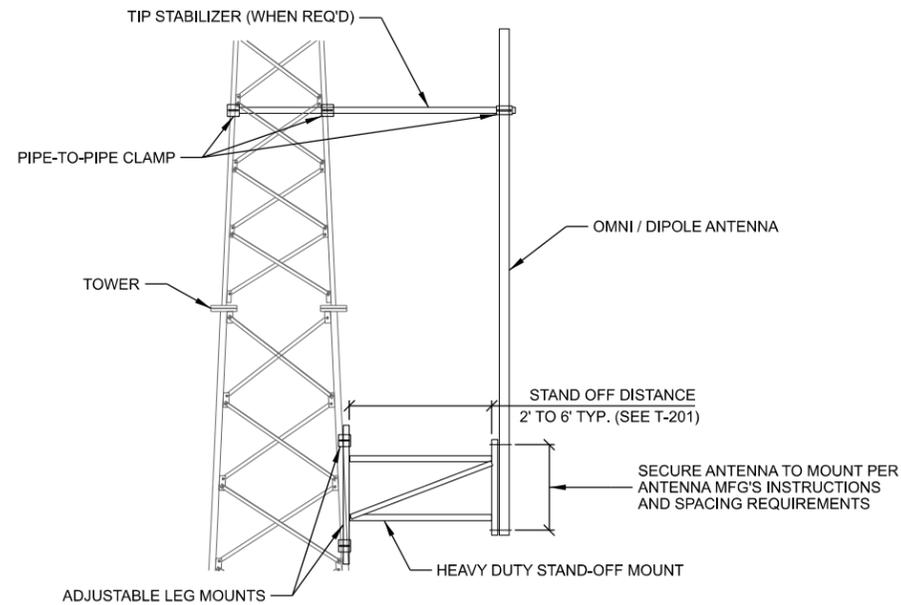
TRANSMISSION LINE INSTALLATION DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

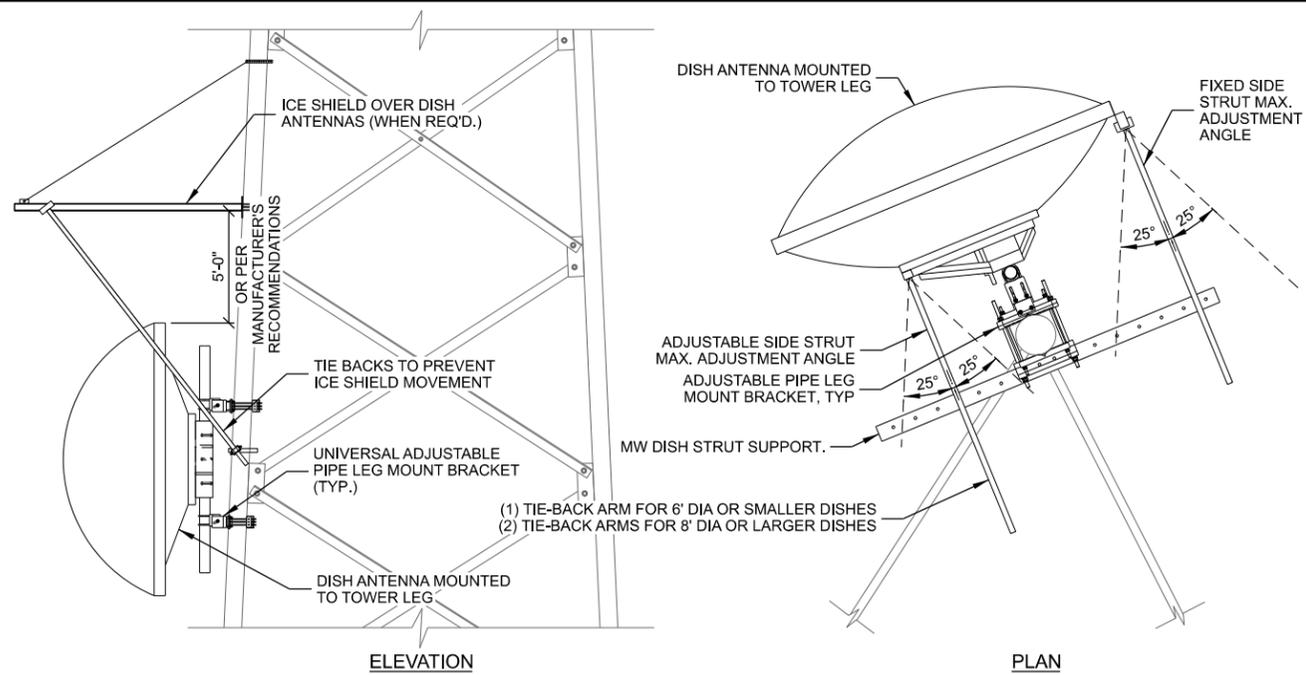
CHECKED BY	AJO
PLOT DATE	8/11/2021
PROJECT NUMBER	27651
SET TYPE	CB1
SHEET NUMBER	T-501

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- NOTES:
1. ANTENNA MOUNTS SHOWN ARE SCHEMATIC ONLY. TOWER MANUFACTURER IS RESPONSIBLE TO DESIGN MOUNTS TO MEET THE ANTENNA LOADS AND MAXIMUM WIND DESIGN PARAMETERS AS OUTLINED IN THE SPECS.
 2. POSITION LOCATIONS ARE REFERENCED INCREASING IN A CLOCKWISE DIRECTION (INCREASING AZIMUTH).
 3. ALL MOUNTS, MOUNTING HARDWARE AND ACCESSORIES TO BE HOT DIPPED GALVANIZED.

A OMNI / DIPOLE STANDOFF MOUNTING



- NOTES:
1. 4' DIA. OR GREATER DISH ANTENNAS TO BE MOUNTED ON 4.5" O.D. PIPE MASTS.
 2. INSTALL TIE-BACK SUPPORT(S) FOR EACH DISH PER DETAIL OR DISH MANUFACTURERS INSTRUCTIONS.
 3. ANTENNA MOUNTS SHOWN ARE SCHEMATIC ONLY. MOUNT MANUFACTURER IS RESPONSIBLE TO DESIGN MOUNTS TO MEET THE ANTENNA LOADS AND MAXIMUM WIND DESIGN PARAMETERS AS OUTLINED IN THE SPECS.
 4. ICE SHIELD WIDTH TO BE 2' WIDER THAN DISH DIAMETER MIN.
 5. ICE SHIELDS TO INCLUDE TIE BACK WIRES TO PREVENT MOVEMENT & TWIST IN HIGH WIND CONDITIONS.

B DISH MOUNTING

*** * ANTENNA INSTALLATION BY OTHERS * ***
NOT PART OF CONTRACT

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ANTENNA INSTALLATION DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	T-503

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GROUNDING LEGEND: (THIS SHEET)

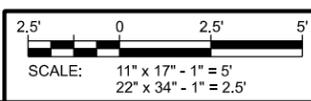
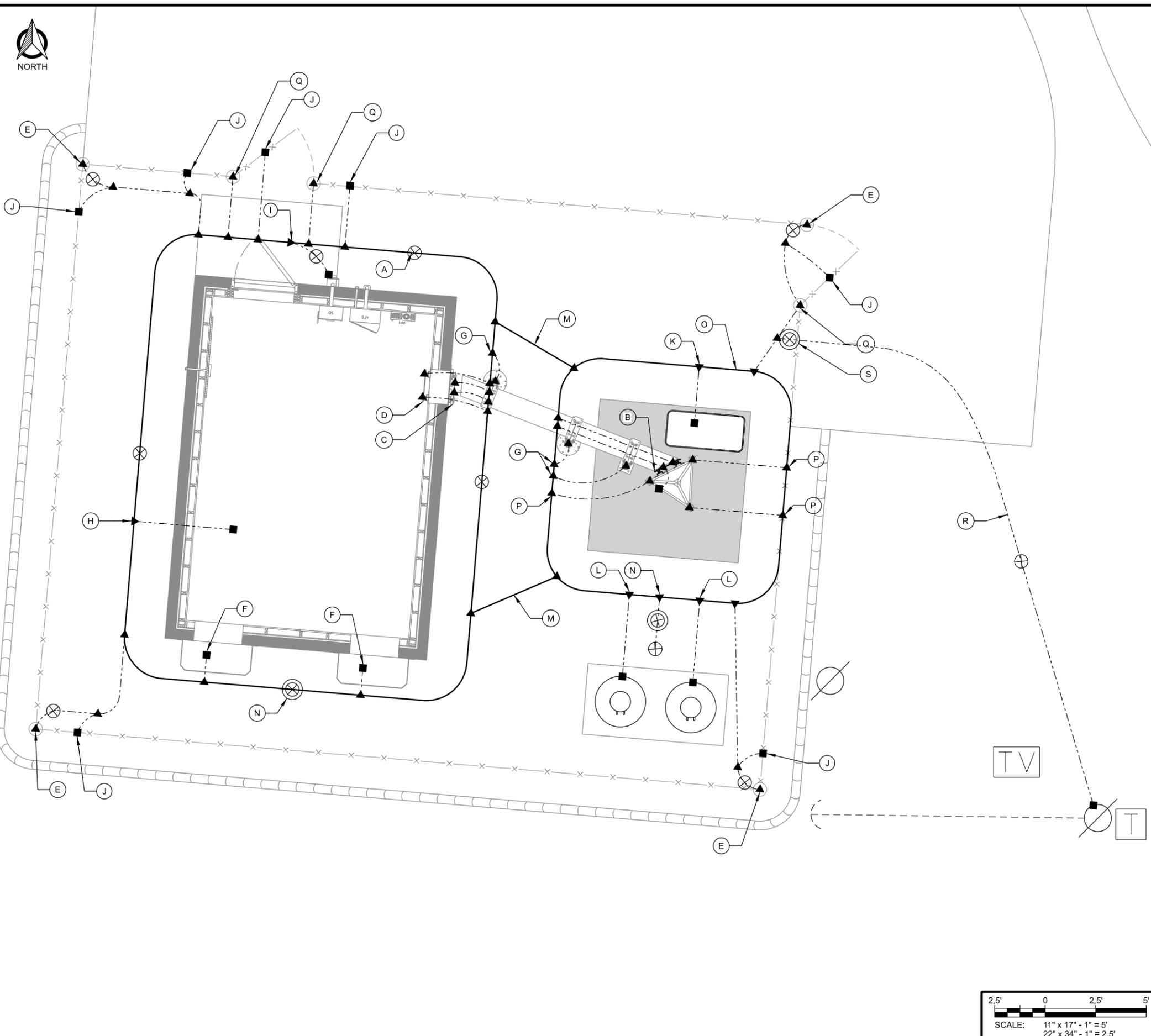
-  GROUND TEST WELL, SEE E-502 FOR DETAILS
-  COPPER CLAD GROUND ROD, (5/8" DIA. x 10' LONG)
SPACE @ 2X GROUND ROD LENGTH (20' O.C. MAX., 6' MIN.)
-  COPPER PLATE, (18" x 18" x 0.032" THK)
SPACE @ 2X GROUND ROD LENGTH (20' O.C. MAX., 6' MIN.)
-  EXOTHERMIC OR UL RATED IRREVERSIBLE CONNECTION
(CADWELD OR HYGROUND)
-  MECHANICAL CONNECTION
(BURNDY 2-HOLE LUG OR APPROVED EQUAL)
-  #2 AWG BARE SOLID TINNED COPPER CONDUCTOR
IN STANDARD GROUND TRENCH, SEE E-502 FOR DETAILS
-  #2/0 AWG BARE STRANDED TINNED COPPER CONDUCTOR
IN STANDARD GROUND TRENCH, SEE E-502 FOR DETAILS
-  #2 AWG BARE SOLID TINNED COPPER CONDUCTOR
IN ENHANCED GROUND TRENCH, SEE E-502 FOR DETAILS

KEYNOTES: (THIS SHEET)

- A. SHELTER GROUND RING, MAINTAIN 2' SEPARATION FROM SHELTER FOUNDATION
- B. TOWER GROUND BAR, (2) LEADS TO TOWER GROUND RING & (1) TO TOWER STEEL
- C. EXTERIOR SHELTER GROUND BAR, (2) LEADS TO SHELTER GROUND RING
- D. INTERIOR SHELTER GROUND BAR (MGB), (2) LEADS TO SHELTER GROUND RING
- E. FENCE CORNER POST GROUND, SEE E-502 FOR DETAILS
- F. SHELTER EXTERIOR AC UNIT GROUND
- G. ICE BRIDGE/UTILITY POST GROUND, SEE E-501 FOR DETAILS
- H. SHELTER FOUNDATION GROUND, SEE E-502 FOR DETAILS
- I. A/C METER BOX GROUND
- J. FENCE FABRIC & DETERRANT WIRING BONDING, SEE E-502 FOR DETAILS
- K. GROUND GENERATOR ENCLOSURE, (1) LEAD
- L. GROUND LP TANK, EACH LEG
- M. SHELTER GROUND RING TO TOWER GROUND RING, (2) LEADS
- N. GROUND TEST WELL, SEE DETAIL C/E-502
- O. TOWER GROUND RING, MAINTAIN 2' SEPARATION FROM TOWER FOUNDATION
- P. TOWER STEEL GROUND, (1) PER LEG REQ'D. EXOTHERMIC WELD TO LEG GROUND TAB
- Q. FENCE GATE GROUND, SEE E-502 FOR DETAILS
- R. TRANSFORMER GROUND, (1) LEAD
- S. TRANSFORMER GROUND DISCONNECT, SEE E-502

GENERAL NOTES: (THIS SHEET)

1. ALL EXTERIOR GROUNDING SHALL MEET OR EXCEED THE CURRENT HARRIS SITE GROUNDING AND LIGHTNING PROTECTION GUIDELINES. REFER TO INSTALLATION MANUAL AE/LZT 123 4618/1 REV F (JUNE 2017).
2. THE GROUNDING SYSTEM & CONDUCTORS SHALL BE INSPECTED BY THE ENGINEER PRIOR TO BACK FILLING. SYSTEM SHALL PROVIDE 3 OHM OR LESS RESISTANCE UPON COMPLETION.
3. ALL NON-INSULATED GROUND LEADS EXTENDING ABOVE GROUND LEVEL SHALL BE ENCASED IN 1/2" PVC & SEALED WITH SILICONE.
4. GROUND RINGS & TOP OF RODS SHALL BE INSTALLED AT 30" BELOW FINISHED GRADE. (SEE DETAIL A/E-501)
5. INSTALL 18"x18" COPPER PLATES IN LIEU OF GROUND RODS WHEN INSTALLING OVER TOWER FOUNDATION OR WHERE DRIVING GROUND RODS IS NOT FEASIBLE. REFER TO GEOTECH REPORT FOR SOIL CONDITIONS.
6. ALL MECHANICAL CONNECTIONS SHALL INCLUDE ANTI-OXIDANT COMPOUND BETWEEN LUG & CONNECTION POINT. USE COPPER ANTI-OXIDANT FOR COPPER TO COPPER CONNECTION
7. ALL ABOVE GRADE CADWELD CONNECTIONS (TO GALVANIZED ITEMS) SHALL BE SPRAYED WITH COLD GALVANIZING COMPOUND TO PREVENT CORROSION.
8. ALL MECHANICAL GROUND CONNECTIONS TO UTILIZE TWO HOLE LUGS, STAINLESS STEEL HARDWARE AND "NO-OX" COMPOUND ON CONNECTIONS. SELF TAPPING SCREWS ARE NOT ALLOWED.



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CLIENT:
GROUNDING PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	E-101

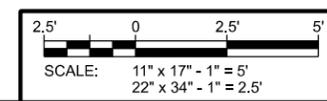
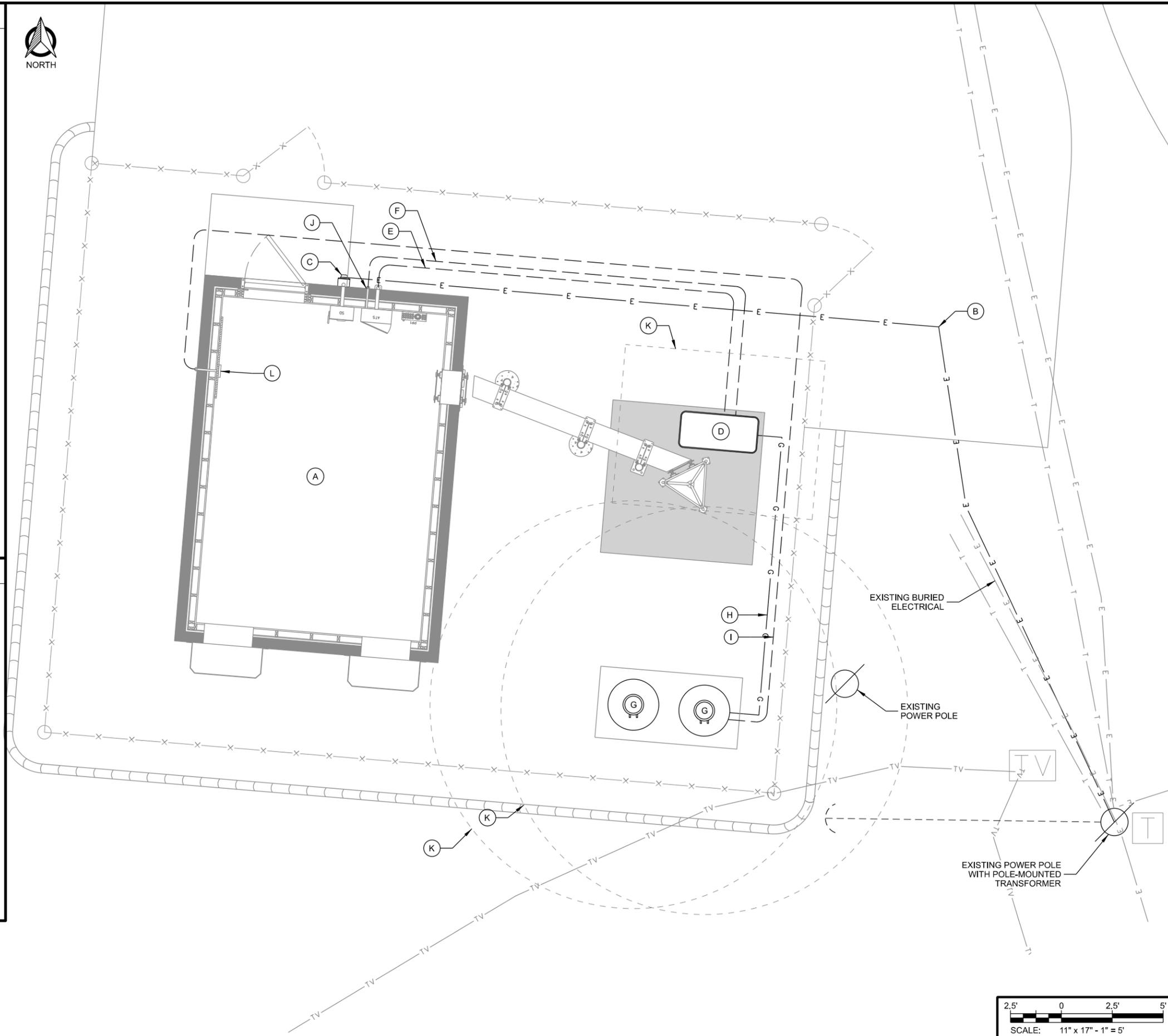
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KEYNOTES: (THIS SHEET)

- A. EQUIPMENT SHELTER
- B. 200A 120/240V 1P ELECTRIC SERVICE FROM EXISTING POLE-MOUNTED TRANSFORMER TO SINGLE ELECTRIC METER MOUNTED TO JEFFERSON COUNTY EQUIPMENT BUILDING; (1) 2" CONDUIT INSTALLED BY CONTRACTOR
- C. SINGLE ELECTRIC METER SOCKET INSTALLED BY CONTRACTOR; E-504 FOR DETAILS
- D. EXISTING 17 KW HONEYWELL GENERATOR MODEL #: 006260R2, 120/240V, 141.7/70.8A; RELOCATED BY CONTRACTOR
- E. GENERATOR AC ELECTRIC; (1) 2" CONDUIT BY CONTRACTOR.
- F. GENERATOR CONTROL & ALARM; (1) 1" CONDUIT BY CONTRACTOR.
- G. EXISTING RELOCATED 120 GAL. LP TANK ON NEW 3'-6" x 7'-0" CONCRETE PAD (TYP. OF 2) RELOCATED BY CONTRACTOR; SEE C-504 FOR DETAILS
- H. LP FUEL LINE BY CONTRACTOR, SEE E-505 FOR DETAILS
- I. REMOTE LP FUEL TANK LEVEL MONITOR CONDUIT; (1) 1" CONDUIT BY CONTRACTOR
- J. STUB ALL CONDUITS ON OUTSIDE OF CONCRETE FOUNDATION. ALL OUTSIDE BUILDING PENETRATIONS TO BE WEATHERPROOF LB, SEE E-503 FOR DETAILS
- K. UTILITY SETBACK / CLEARANCES. 3' AROUND GENERATOR. 10' AROUND LP TANK VALVE
- L. REMOTE LP FUEL TANK LEVEL MONITOR BY CONTRACTOR

GENERAL NOTES: (THIS SHEET)

1. CONTRACTOR SHALL FIELD VERIFY DEPTHS, LOCATIONS, & SIZES OF ALL EXISTING UTILITIES.
2. ALL UTILITIES SHALL BE INSTALLED ACCORDING TO STATE AND LOCAL REQUIREMENTS.
3. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL, STATE, AND LOCAL CODES.
4. ALL UNDERGROUND TRENCHING, PIPE AND CONDUIT INSTALLATION TO BE COMPLETED PRIOR TO FINAL SUBGRADE COMPACTION AND AGGREGATE INSTALLATION.
5. ALL CONDUCTORS TO BE COPPER.
6. ALL UNDERGROUND ELECTRICAL & TELCO CONDUITS TO BE SCH. 80 PVC UNLESS OTHERWISE REQUIRED BY THE UTILITY PROVIDER.
7. ALL OUTDOOR ABOVE GRADE EXPOSED ELECTRICAL CONDUITS TO BE RIGID GALVANIZED STEEL (RGS). ALL BELOW GRADE CONDUIT STUB UPS TO BE SCH 80 PVC WITH SLIP JOINT.
8. REFERENCE MANUFACTURER AND CATALOG NUMBERS ARE USED FOR QUALITY AND PERFORMANCE ONLY. EQUIPMENT MFR. BY OTHERS ARE EQUALLY ACCEPTABLE PROVIDED THEY MEET OR EXCEED THE SPEC.
9. PROVIDE AND INSTALL ALL NECESSARY WIRING AND CONDUITS FROM EXTERIOR ELECTRICAL ITEMS TO DISTRIBUTION PANEL WITHIN EQUIPMENT BUILDING.
10. ALL CONDUIT STUBS IN BUILDINGS & PULL BOXES TO BE IDENTIFIED AND LABELED.
11. PROVIDE PULL STRINGS IN ALL CONDUITS.
12. ALL INDOOR EXPOSED CONDUIT TO BE METALLIC (EMT OR RGS).
13. SEE E-503 FOR CONDUIT INSTALLATION REQUIREMENTS.



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CLIENT:
**UTILITY PLAN
 WATERLOO (27651)
 WATERLOO, WISCONSIN**

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	E-102

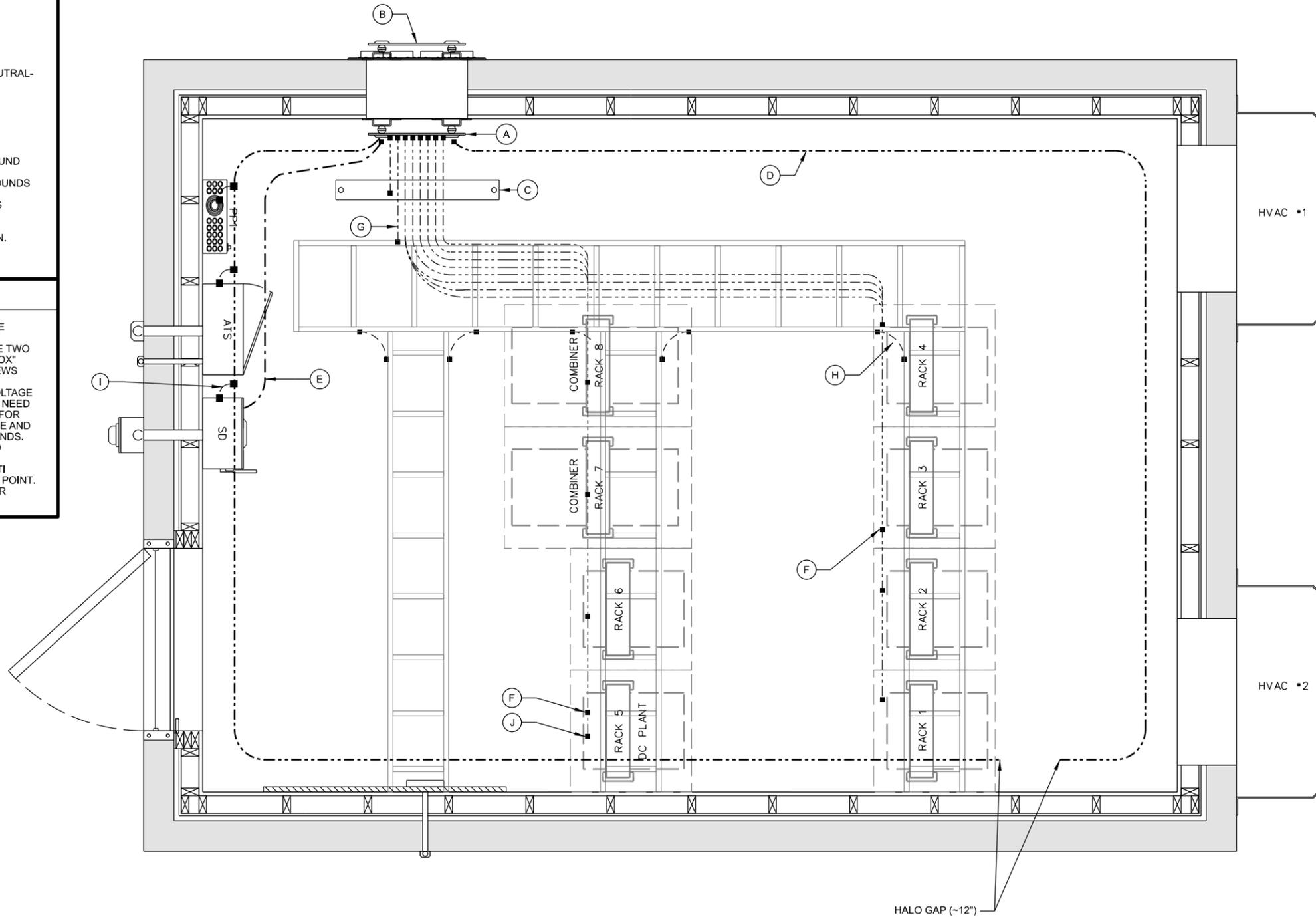
I:\27651\276511\Design\CAD\CB1\Plan\E-102.dgn

KEYNOTES: (THIS SHEET)

- A. MASTER GROUND BAR
- B. EXTERIOR GROUND BAR
- C. COAXIAL SURGE ARRESTOR TRAPEZE
- D. #2 STRANDED INSULATED HALO
- E. #2 STRANDED INSULATED SERVICE DISCONNECT NEUTRAL-GROUND BOND LEAD TO MGB
- F. #2 STRANDED INSULATED RACK GROUNDS; PROVIDE PIGTAIL LEAD TO EACH RACK LOCATION. CONNECTION TO RACK BY RADIO VENDOR. (1) PER RACK
- G. #2 STRANDED INSULATED CABLE TRAY SYSTEM GROUND
- H. #6 STRANDED INSULATED CABLE TRAY SECTION GROUNDS
- I. #6 STRANDED INSULATED METAL DEVICE/BOX BONDS
- J. (1) #2 STRANDED INSULATED DC PLANT GROUND; PROVIDE PIGTAIL LEAD TO DC PLANT RACK LOCATION. CONNECTION TO RACK BY RADIO VENDOR.

GENERAL NOTES: (THIS SHEET)

1. ALL INTERIOR CONDUITS TO BE RGS OR EMT. UTILIZE COMPRESSION FITTINGS FOR EMT INSTALLATIONS.
2. ALL MECHANICAL GROUND CONNECTIONS TO UTILIZE TWO HOLE LUGS, STAINLESS STEEL HARDWARE AND "NO-OX" COMPOUND ON CONNECTIONS. SELF TAPPING SCREWS ARE NOT ALLOWED.
3. PROVIDE EMT CONDUIT FOR ALL ALARM AND LOW VOLTAGE WIRING FROM DEVICE TO ALARM BOARD. CONDUITS NEED NOT BE FULL LENGTH AND MAY UTILIZE CABLE TRAY FOR HORIZONTAL RUNS. CONDUITS SHALL EXTEND ABOVE AND OVER TO CABLE TRAY AND PROVIDE BUSHINGS ON ENDS.
4. ALL METALLIC CONDUITS AND BOXES TO BE GROUND BONDED TO HALO.
5. ALL MECHANICAL CONNECTIONS SHALL INCLUDE ANTI OXIDANT COMPOUND BETWEEN LUG & CONNECTION POINT. USE COPPER ANTI-OXIDANT FOR COPPER TO COPPER CONNECTIONS.



A **SHELTER GROUNDING PLAN**
 SCALE: 11" x 17" - 1/2" = 1'-0"
 22" x 34" - 1" = 1'-0"

CONSULTANT:



CLIENT:



SHELTER GROUNDING PLAN
 WATERLOO (27651)
 WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	E-103

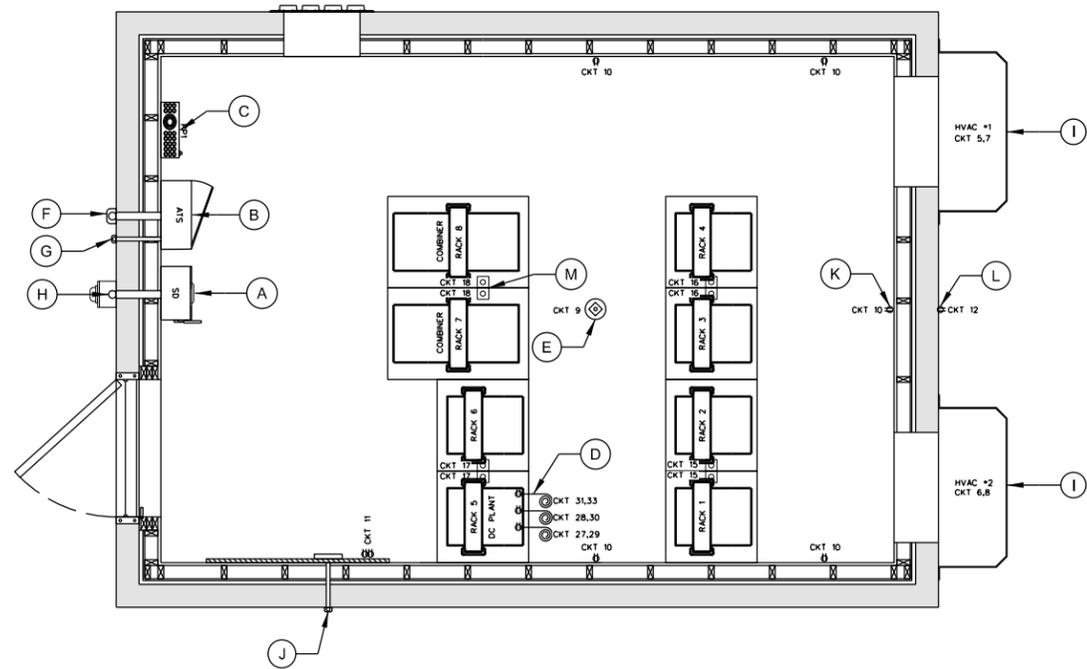
R:2760027651\Design\CAD\CB1\Plot\E-103.dgn

KEYNOTES: (THIS SHEET)

- A. SERVICE DISCONNECT
- B. AUTOMATIC TRANSFER SWITCH (ATS)
200A GENERAC (30"Hx13.5"Wx7"D)
PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
- C. DISTRIBUTION PANEL (PP1)
- D. (3) DC PLANT POWER FEEDS.
PROVIDE PIGTAIL LEADS FROM CEILING MOUNTED
JUNCTION BOX.
CONNECTION TO RACKS BY RADIO VENDOR.
- E. SMOKE ALARM
- F. GENERATOR A/C POWER FEED
- G. GENERATOR CONTROL WIRING FEED
- H. ELECTRIC UTILITY SERVICE FEED
- I. HVAC UNIT (2 TON)
- J. LP TANK LEVEL MONITOR RECEPTACLE
- K. INTERIOR CONVENIENCE OUTLET
- L. EXTERIOR CONVENIENCE OUTLET
- M. (2) 20A 120V TWIST LOCK RECEPTACLES, CEILING MOUNTED
IN 2 GANG BOX, LOCATED BETWEEN (2) ADJACENT RACKS.
(1) 20A, 120V CIRCUIT PER EACH PAIR OF TWIST LOCKS.

GENERAL NOTES: (THIS SHEET)

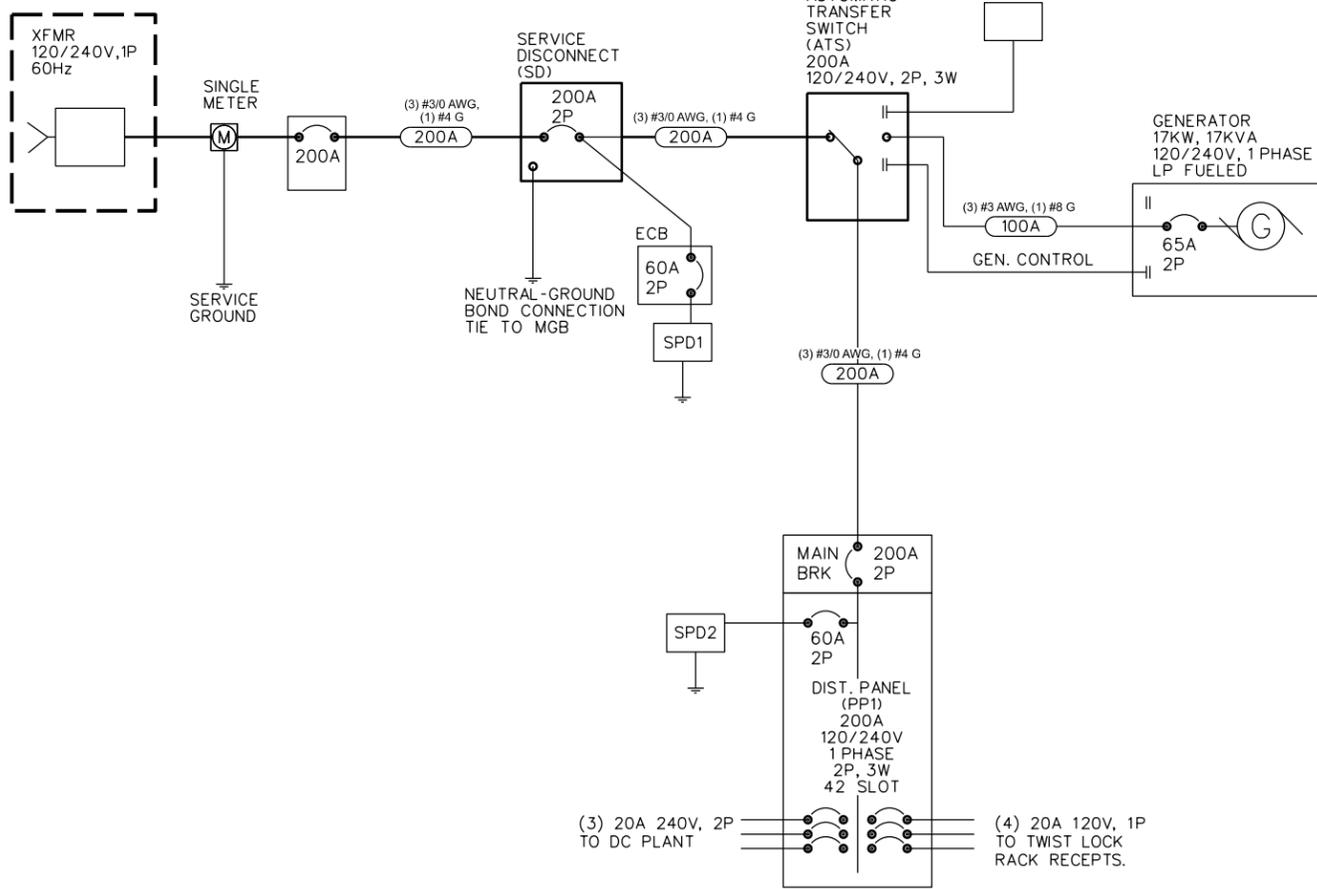
1. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL, STATE AND LOCAL CODES.
2. ALL WIRE AND CONDUIT SIZES SPECIFIED ARE MINIMUMS. LARGER SIZES MAY BE REQUIRED BY CODE. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CODE REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. ALL CONDUCTORS SHALL BE COPPER.
4. ALL INDOOR RACEWAY TO BE EMT OR RGS. EMT INSTALLATIONS SHALL UTILIZE COMPRESSION FITTINGS.
5. CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY WIRING AND CONDUITS FROM ELECTRICAL DEVICES REQUIRED ON PROJECT TO THE DISTRIBUTION PANELS.
6. ALL ELECTRICAL WORK SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A LICENSED MASTER ELECTRICIAN.
7. CONTRACTOR SHALL PERFORM AN INSPECTION OF THE EXISTING ELECTRICAL EQUIPMENT AND INSTALLATION WITHIN THE PRE-MANUFACTURED BUILDING PROVIDED BY THE OWNER FOR CONFORMANCE WITH STATE AND LOCAL ELECTRICAL CODE. ELECTRICAL CONTRACTOR SHALL NOTIFY ENGINEER OF ANY NON-CONFORMING ITEMS.



A SHELTER ELECTRICAL PLAN

SCALE: 11" x 17" - 1/4" = 1'-0"
22" x 34" - 1/2" = 1'-0"

BY UTILITY



B ELECTRICAL ONE LINE DIAGRAM

SCALE: 11" x 17" - NTS
22" x 34" - NTS

DIST. PANEL (PP1)	PHASE/WIRE	BUS SIZE	MAIN LUGS				AIC RATING			
120/240VAC	1/3	200A					10,000			
LOAD	POLE	TRIP	WIRE	A	B	CKT#	TRIP	POLE	WIRE	LOAD
Surge Arrester SPD2	4	2	60	1		2	-	-	-	SPARE
	-	-	-	3		4	-	-	-	SPARE
HVAC #1	8	2	30	5		6	30	2	8	HVAC #2
	-	-	-	7		8	-	-	-	
Smoke Detector	12	1	20	9		10	20	1	12	Receptacles - Interior
LP Tank Monitor	12	1	20	11		12	20	1	12	Receptacles - Exterior
SPARE	-	-	-	13		14	20	1	12	Lights - Int/Emer/Door
Twist Lock Recept. 1&2	12	1	20	15		16	20	1	12	Twist Lock Recept. 3&4
Twist Lock Recept. 5&6	12	1	20	17		18	20	1	12	Twist Lock Recept. 7&8
SPARE	-	-	-	19		20	-	-	-	SPARE
SPARE	-	-	-	21		22	-	-	-	SPARE
SPARE	-	-	-	23		24	-	-	-	SPARE
SPARE	-	-	-	25		26	-	-	-	SPARE
DC Drop #1	12	2	20	27		28	20	2	12	DC Drop #2
	-	-	-	29		30	-	-	-	
DC Drop #3	12	2	20	31		32	-	-	-	SPARE
	-	-	-	33		34	-	-	-	SPARE
SPARE	-	-	-	35		36	-	-	-	SPARE
SPARE	-	-	-	37		38	-	-	-	SPARE
SPARE	-	-	-	39		40	-	-	-	SPARE
SPARE	-	-	-	41		42	-	-	-	SPARE

C ELECTRIC DISTRIBUTION PANEL DIRECTORY

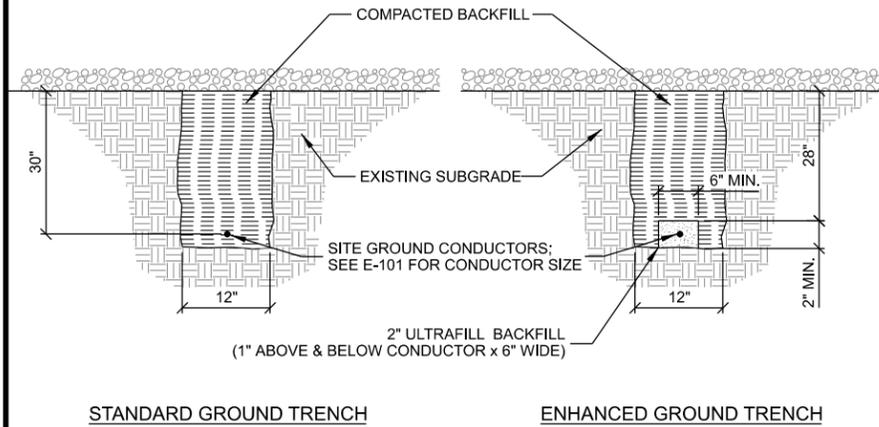
SCALE: 11" x 17" - NTS
22" x 34" - NTS

CONSULTANT:
Edge
Consulting Engineers, Inc.
624 WATER STREET
PRAIRIE DU SAC, WI 53578
608.644.1449 VOICE
608.644.1549 FAX
www.edgeconsult.com



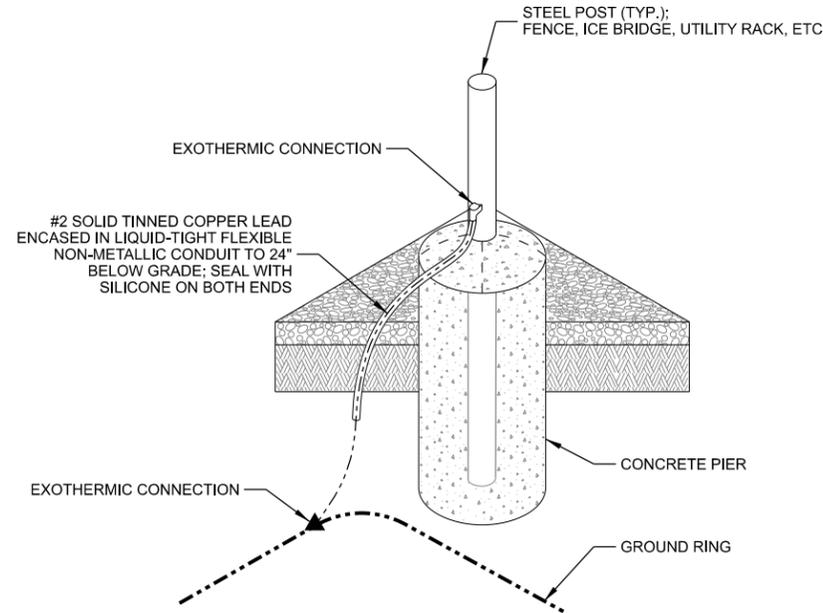
CLIENT:
SHELTER ELECTRICAL PLAN
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:		
INT.	DATE:	DESCRIPTION:
CHECKED BY:	AJO	
PLOT DATE:	8/11/2021	
PROJECT NUMBER:	27651	
SET TYPE:	CB1	
SHEET NUMBER:	E-104	

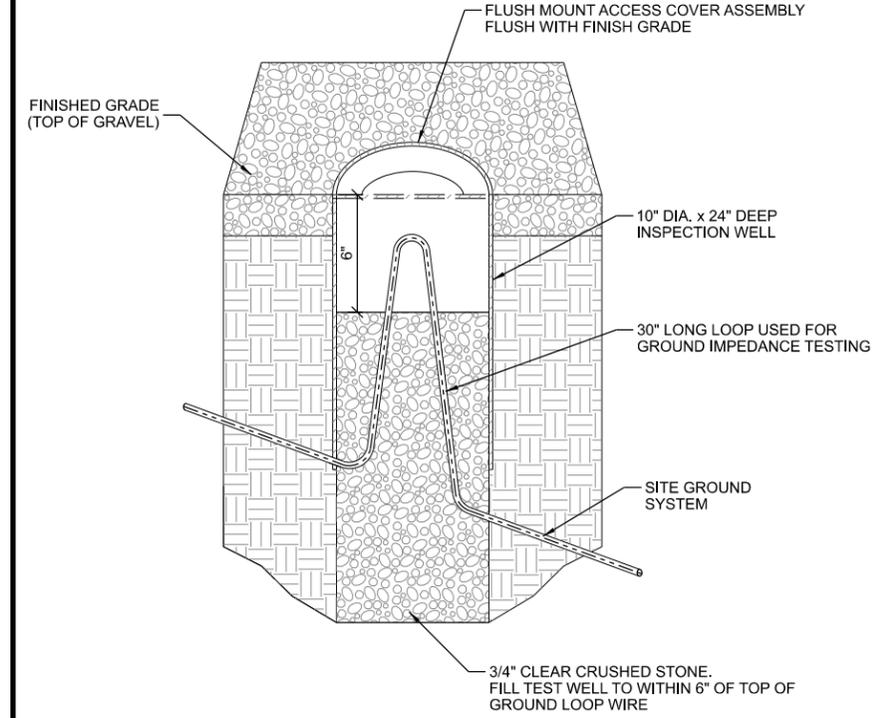


- NOTES:
- GROUNDING TRENCHES TO BE BACK FILLED WITH NATIVE SOIL.
 - COMPACT BACK FILL TO 95% MODIFIED PROCTOR.

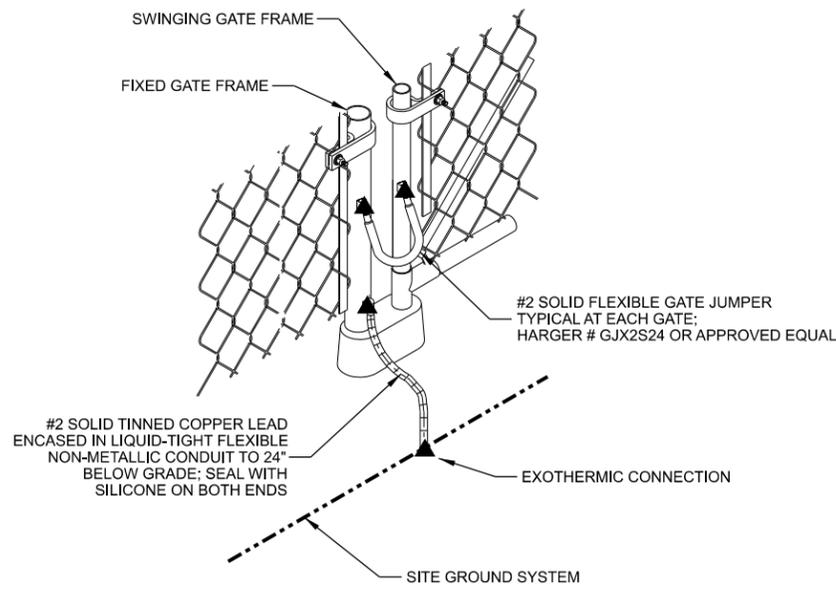
A GROUNDING TRENCH



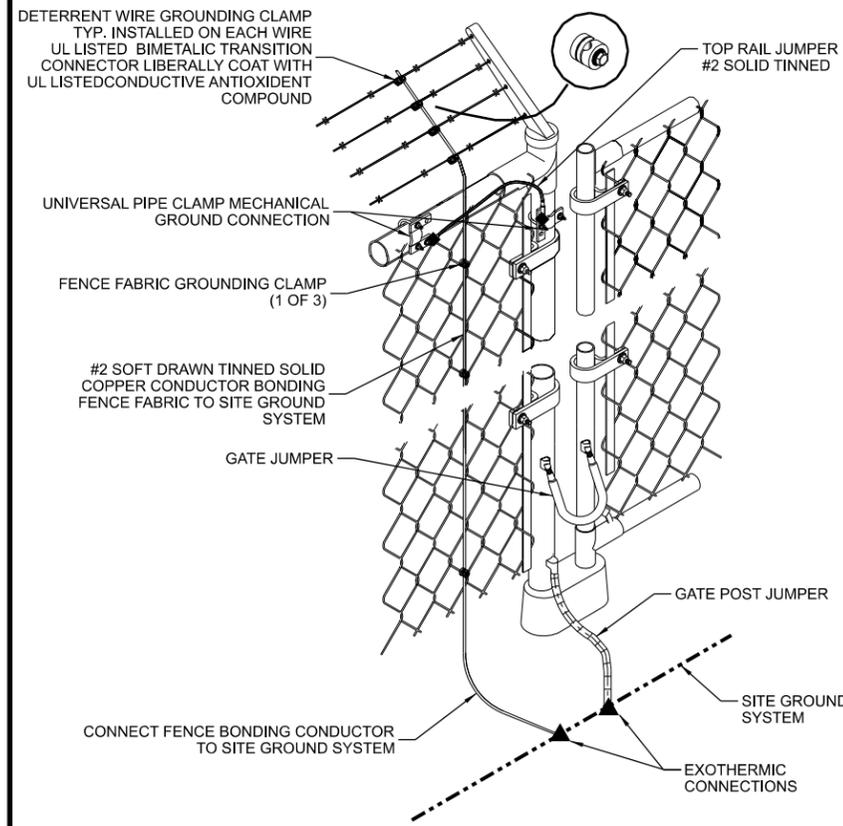
B STEEL POST GROUNDING



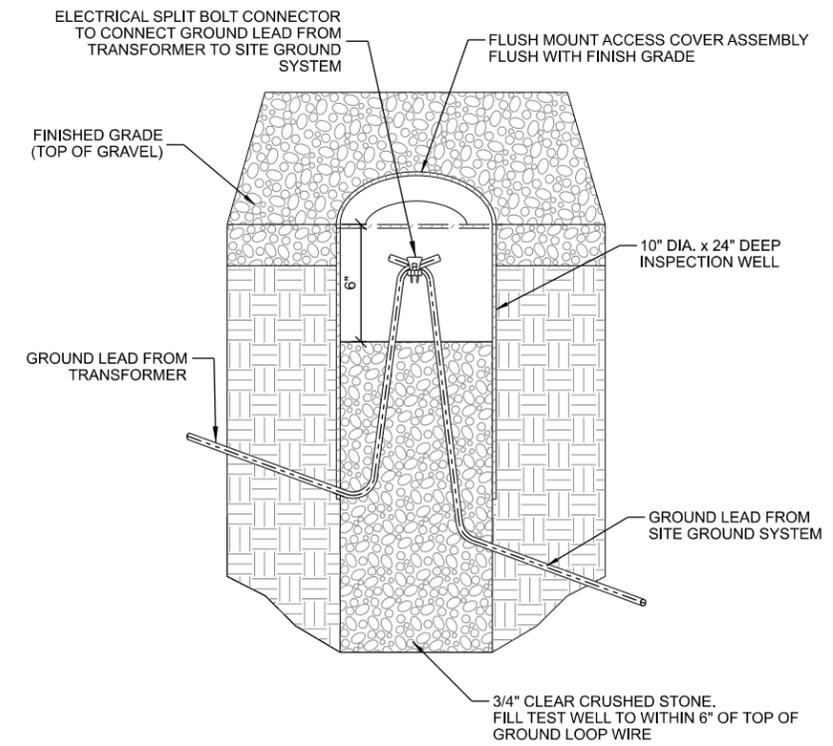
C GROUND TEST WELL



D FENCE GATE GROUNDING



E FENCE FABRIC AND DETERRENT WIRING BONDING



F TRANSFORMER GROUND DISCONNECT

CONSULTANT:
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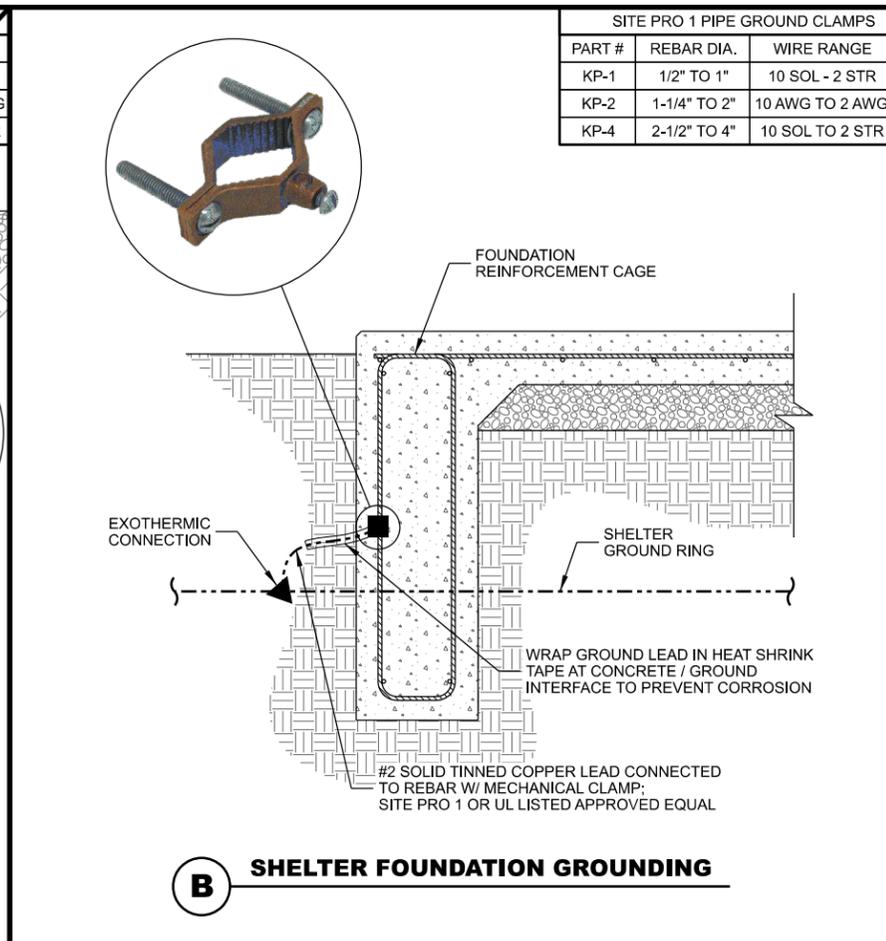
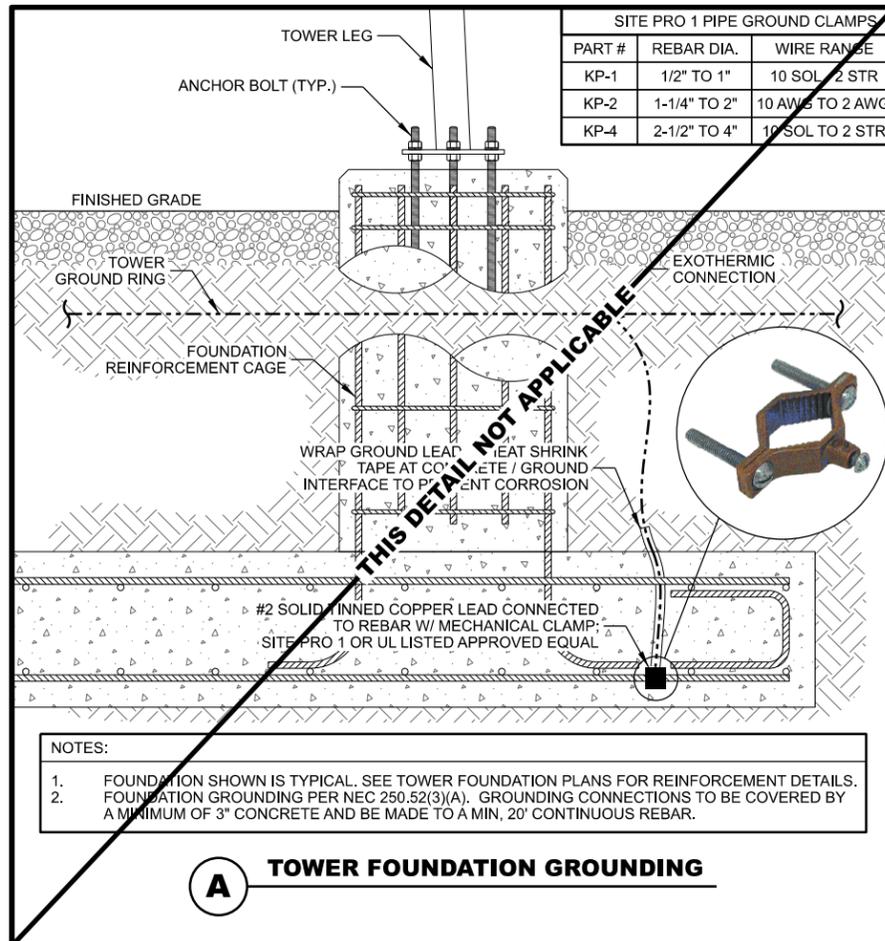


GROUNDING DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	E-502



CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53578
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com



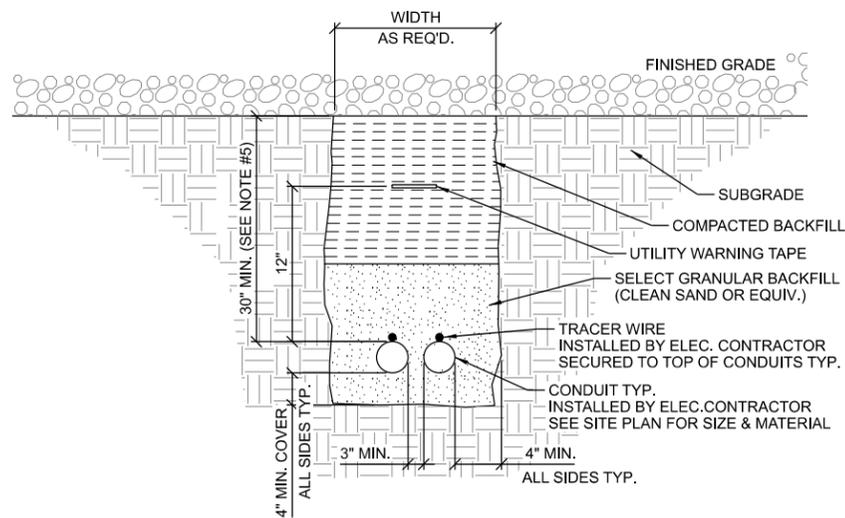
GROUNDING DETAILS
 WATERLOO (27651)
 WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

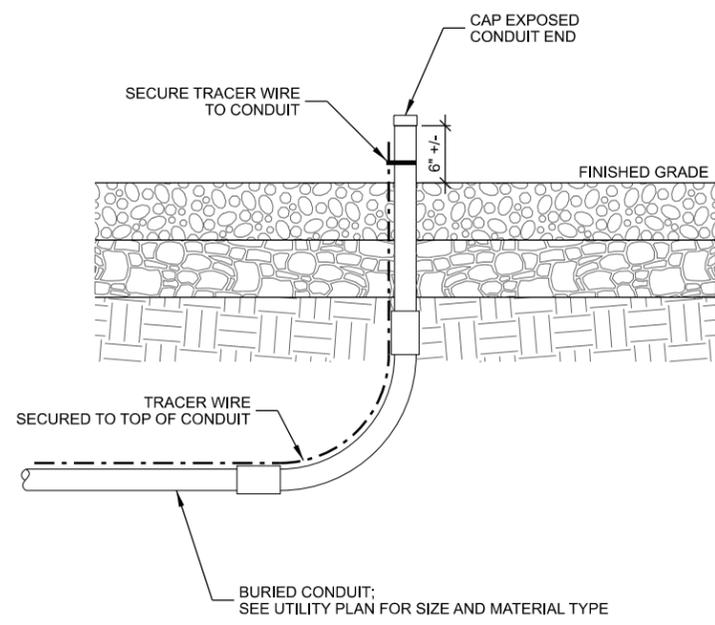
CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	E-503

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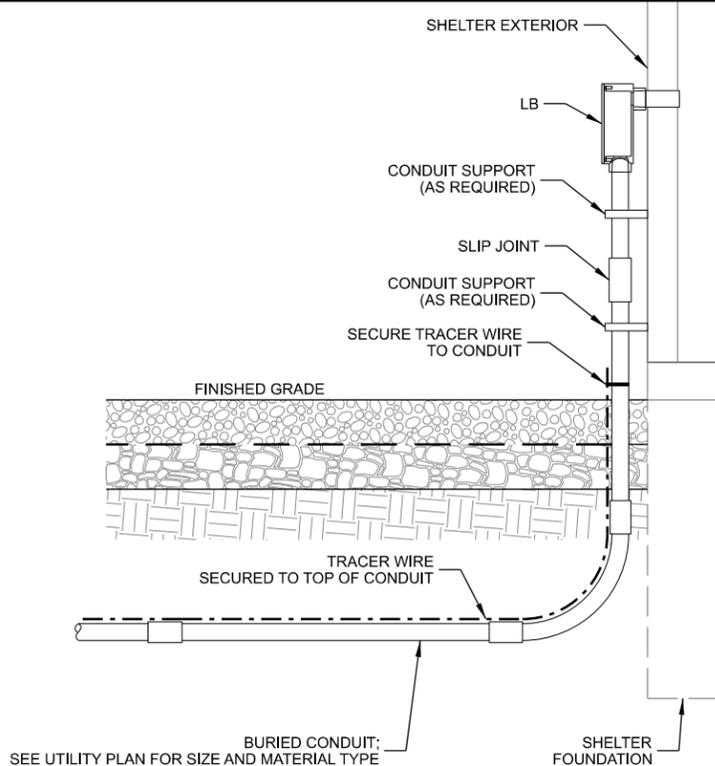


- NOTES:
1. ALL CONDUITS TO BE EQUIPPED W/ PULL CORDS & CAPPED FOR FUTURE LINE PULLS. NO DUCT TAPE CAPS ALLOWED
 2. WARNING TAPE TO RUN CONTINUOUSLY ALONG THE ENTIRE CONDUIT LENGTH. INSTALL TAPE 12" ABOVE THE TOP OF THE CONDUITS.
 3. TRACER WIRE TO BE 14 GA. SOLID COPPER WIRE WITH CORROSION PROTECTIVE COATING. SECURE TO TOP OF CONDUIT AND RUN CONTINUOUSLY ALONG THE ENTIRE LENGTH. EXTEND TO GRADE AT BOTH ENDS - LOOP AND WRAP AROUND APPROPRIATE CONDUIT.
 4. CONTRACTOR TO CHECK CONTINUITY OF TRACER WIRE BEFORE AND AFTER BURIAL.
 5. VERIFY CONDUIT DEPTH REQUIREMENTS WITH LOCAL UTILITY PROVIDER.

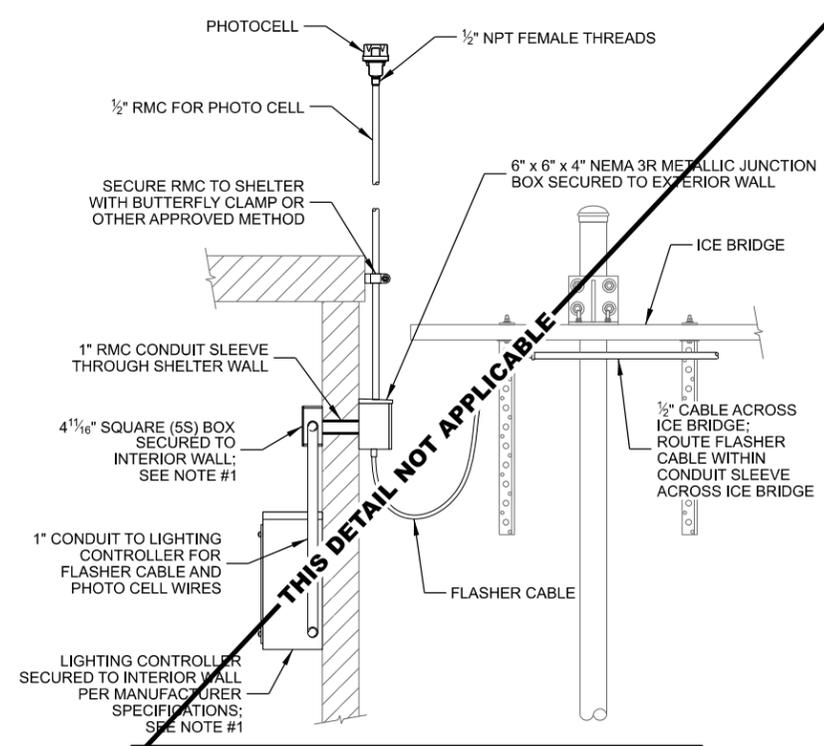
A UTILITY TRENCH



B CONDUIT STUB-UP



C CONDUIT STUB-UP AT SHELTER



- NOTES:
1. PROVIDE GROUND BOND FROM LIGHTING CONTROLLER BOX AND INTERIOR JUNCTION BOX TO INTERIOR GROUND HALO SYSTEM.

D TOWER LIGHTING INSTALLATION

THIS SPACE INTENTIONALLY LEFT BLANK

CONSULTANT:
Edge
 Consulting Engineers, Inc.
 624 WATER STREET
 PRAIRIE DU SAC, WI 53578
 608.644.1449 VOICE
 608.644.1549 FAX
 www.edgeconsult.com



UTILITY DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN

SUBMITTAL:

INT.	DATE:	DESCRIPTION:

CHECKED BY:	AJO
PLOT DATE:	8/11/2021
PROJECT NUMBER:	27651
SET TYPE:	CB1
SHEET NUMBER:	E-504

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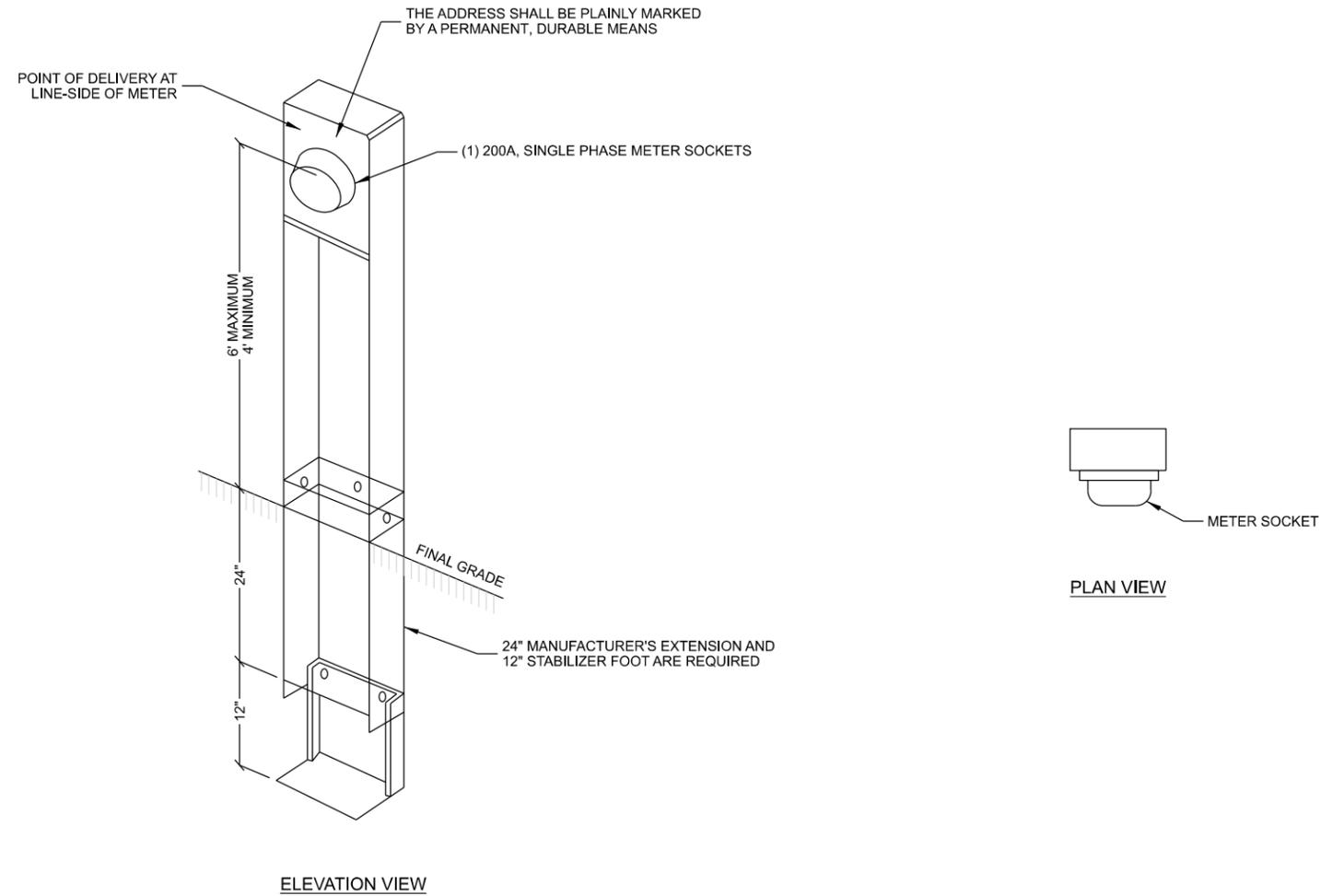
CONSULTANT:

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624 WATER STREET
PRAIRIE DU SAC, WI 53578
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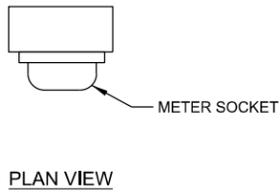
CLIENT:



UTILITY RACK DETAILS
WATERLOO (27651)
WATERLOO, WISCONSIN



ELEVATION VIEW



NOTES:

- PRIOR TO SETTING METER, ALL SMALL COMMERCIAL SERVICES NEED TO BE STATE INSPECTED AND AN ELECTRIC INSPECTION CERTIFICATE PROVIDED TO THE UTILITY PROVIDER.

A SINGLE ELECTRIC METER PEDESTAL

SUBMITTAL:

INT.	DATE	DESCRIPTION:

CHECKED BY	AJO
PLOT DATE	8/11/2021
PROJECT NUMBER	27651
SET TYPE	CB1
SHEET NUMBER	E-505

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136 North Monroe Street
Waterloo, WI 53594
Phone: (920) 478-3025
Fax: (920) 478-2021
www.waterloowi.us

\$285.00

APPLICATION FOR CONDITIONAL USE PERMIT
(Review and Action by City Plan Commission/Common Council)

Number: _____ Date Filed: _____ Fee Paid: 285.⁰⁰

Location of Property: 217 Maple Drive

Applicant: Adam Fitzgerald

Address: 217 Maple Drive Telephone: 920-988-1698

Owner of Property: Adam Fitzgerald

Address: 217 Maple Drive Telephone: 920-988-1698

Contractor: Owner

Address: Same Telephone: _____

Architect or Professional Engineer: n/a

Address: _____ Telephone: _____

Legal Description of Property: _____

Land Parcel Size: 14,000 Present Use: Single/fam Zoning District: R-1

Type of Existing Structure (if any): single fam attached garage

Proposed Use of the Structure or Site: Storage Number of Employees: —

Terms of Municipal Code

Conditional Use Requested

385-8.B.(7) Additional garage

Specify Reason(s) for Application: (for example, insufficient lot area, setback, etc.)

Storage

ATTACH THE FOLLOWING:

Site Plan showing the area involved, its location, dimensions, elevations, drainage, parking, etc., and location of adjacent structures within 200 feet.

Date: 8-12 20 21

Adam Fitzgerald
Signature of Applicant

adam.fsgaming@gmail.com

REAL ESTATE PAYMENT RECEIPT

8/12/2021

JEFFERSON COUNTY

TAX YEAR: 2020

MORTON J HANSEN
CITY OF WATERLOO
136 N. MONROE
WATERLOO, WI 53594

Total Tax: \$5,205.11
Less Lottery Credit Claimed: \$0.00
Less Tax Paid: \$0.00
Balance Due: \$5,205.11

Legal Description
BEG AT NE/C LOT 42, 1ST ADD
TO SUNSET GARDENS, N33DG37'
100FT, S56DG20'E 139.94FT,
S33DG42'W 100FT TO SE/C
LOT 42, NW TO POB.

Parcel Number: 29008130544089
Bill Number: 000579
Physical Address: 217 MAPLE DR

ADAM FITZGERALD
217 MAPLE DR
WATERLOO, WI 53594

Land Assessment: \$29,500.00
Improvement Assessment: \$178,000.00
Total Assessment: \$207,500.00
EFMV: \$246,900.00
Special Assessments: \$0.00
MFL/FCL: \$0.00
Acreage: 0.321

Receipt Date	Operator	Check #	Batch #	Tax Paid	Refund	Other	Total Paid
Receipt Number	Paid By						

THANK YOU

608-688-0997 SAFEbuilt	WI UNIFORM PERMIT APPLICATION madisoninspections@safebuilt.com <i>Inspections need to be called in by 4 pm for next business day inspections.</i>	PERMIT NO. _____ TAXKEY# _____
----------------------------------	---	---------------------------------------

ISSUING MUNICIPALITY	<input type="checkbox"/> TOWN <input type="checkbox"/> VILLAGE <input checked="" type="checkbox"/> CITY OF <u>Waterloo</u> COUNTY: <u>Jefferson</u>	PROJECT LOCATION (Building Address) <u>217 Maple Dr, Waterloo, WI</u>	PROJECT DESCRIPTION <input type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> ONE & TWO FAMILY <u>New Detached Garage</u>
-----------------------------	---	---	--

Owner's Name Adam Fitzgerald	Mailing Address - Include City & Zip <u>217, Maple Dr, Waterloo, WI 53594</u>	Telephone - Include Area Code <u>920-988-1698</u>
Construction Contractor (DC Lic No.) Fitzgerald and Sons Construction 072100862	Mailing Address - Include City & Zip <u>217 Maple Dr, Waterloo, WI 53594</u>	Telephone - Include Area Code <u>920-988-1698</u>
Dwelling Contractor Qualifier (DCQ Lic No.) Adam Fitzgerald (082100843)	Dwelling Contractor Qualifier shall be an owner, CEO, COB, or employee of Dwelling Contractor	Telephone - Include Area Code
Plumbing Contractor (Lic No.)	Mailing Address - Include City & Zip	Telephone - Include Area Code
Electrical Contractor (Lic No.)	Mailing Address - Include City & Zip	Telephone - Include Area Code
HVAC Contractor (Lic No.)	Mailing Address - Include City & Zip	Telephone - Include Area Code

PROJECT INFORMATION	Subdivision Name _____	Lot No. _____	Block No. _____
Zoning District <u>R-1</u>	Lot Area <u>14,000</u> Sq. Ft.	N.S.E.W. Setbacks Front <u>114.5</u> Ft. Rear <u>5.5</u> Ft.	Left <u>5.5</u> Ft. Right <u>72.5</u> Ft.

1a. PROJECT <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Raze <input type="checkbox"/> Alteration <input type="checkbox"/> Repair <input type="checkbox"/> Move <input type="checkbox"/> Other _____	3. TYPE <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input type="checkbox"/> Multi <input type="checkbox"/> Commercial	6. STORES <input checked="" type="checkbox"/> 1-Story <input type="checkbox"/> 2-Story <input type="checkbox"/> Other <u>14'</u>	9. HVAC EQUIPMENT <input type="checkbox"/> Forced Air Furnace <input type="checkbox"/> Radiant Baseboard or Panel <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input type="checkbox"/> Central Air Conditioning <input type="checkbox"/> Other _____																								
1b. GARAGE <input type="checkbox"/> Attached <input type="checkbox"/> Detached	4. CONST. TYPE <input checked="" type="checkbox"/> Site Constructed <input type="checkbox"/> Mfd. UDC <input type="checkbox"/> Mfd. HUD	7. FOUNDATION <input checked="" type="checkbox"/> Concrete <input type="checkbox"/> Masonry <input type="checkbox"/> Treated Wood <input type="checkbox"/> ICF <input type="checkbox"/> Other _____	12. ENERGY SOURCE <table style="width:100%; border-collapse: collapse;"> <tr> <td style="border: none;"></td> <td style="border: none;">Fuel</td> <td style="border: none;">Nat. Gas</td> <td style="border: none;">L.P.</td> <td style="border: none;">Oil</td> <td style="border: none;">Elec. *</td> <td style="border: none;">Solid</td> <td style="border: none;">Solar</td> </tr> <tr> <td style="border: none;">Space Htg</td> <td style="border: 1px solid black; text-align: center;"><input type="checkbox"/></td> </tr> <tr> <td style="border: none;">Water Htg</td> <td style="border: 1px solid black; text-align: center;"><input type="checkbox"/></td> </tr> </table>		Fuel	Nat. Gas	L.P.	Oil	Elec. *	Solid	Solar	Space Htg	<input type="checkbox"/>	Water Htg	<input type="checkbox"/>												
	Fuel	Nat. Gas	L.P.	Oil	Elec. *	Solid	Solar																				
Space Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																				
Water Htg	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>																				
2. AREA Basement _____ Sq. Ft. Living Area <u>440</u> Sq. Ft. Garage _____ Sq. Ft. Other _____ Sq. Ft. TOTAL _____	5. ELECTRICAL Entrance Panel Size: _____ amp Service: ___ New ___ Rewire _____ Phase _____ Volts <input checked="" type="checkbox"/> Underground <input type="checkbox"/> Overhead Power Company: _____	8. USE <input type="checkbox"/> Seasonal <input type="checkbox"/> Permanent <input type="checkbox"/> Other _____	10. PLUMBING Sewer <input type="checkbox"/> Municipal <input type="checkbox"/> Septic No. _____																								
		11. WATER <input type="checkbox"/> Municipal Utility <input type="checkbox"/> Private On-Site Well	13. HEAT LOSS (Calculated) Total _____ BTU/HR																								
			14. ESTIMATED COST \$ <u>12K</u>																								

I understand that I: am subject to all applicable codes, laws, statutes and ordinances, including those described on the Notice to Permit Applicants form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the Notice to Permit Applicants form. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the Notice to Permit Applicants form.

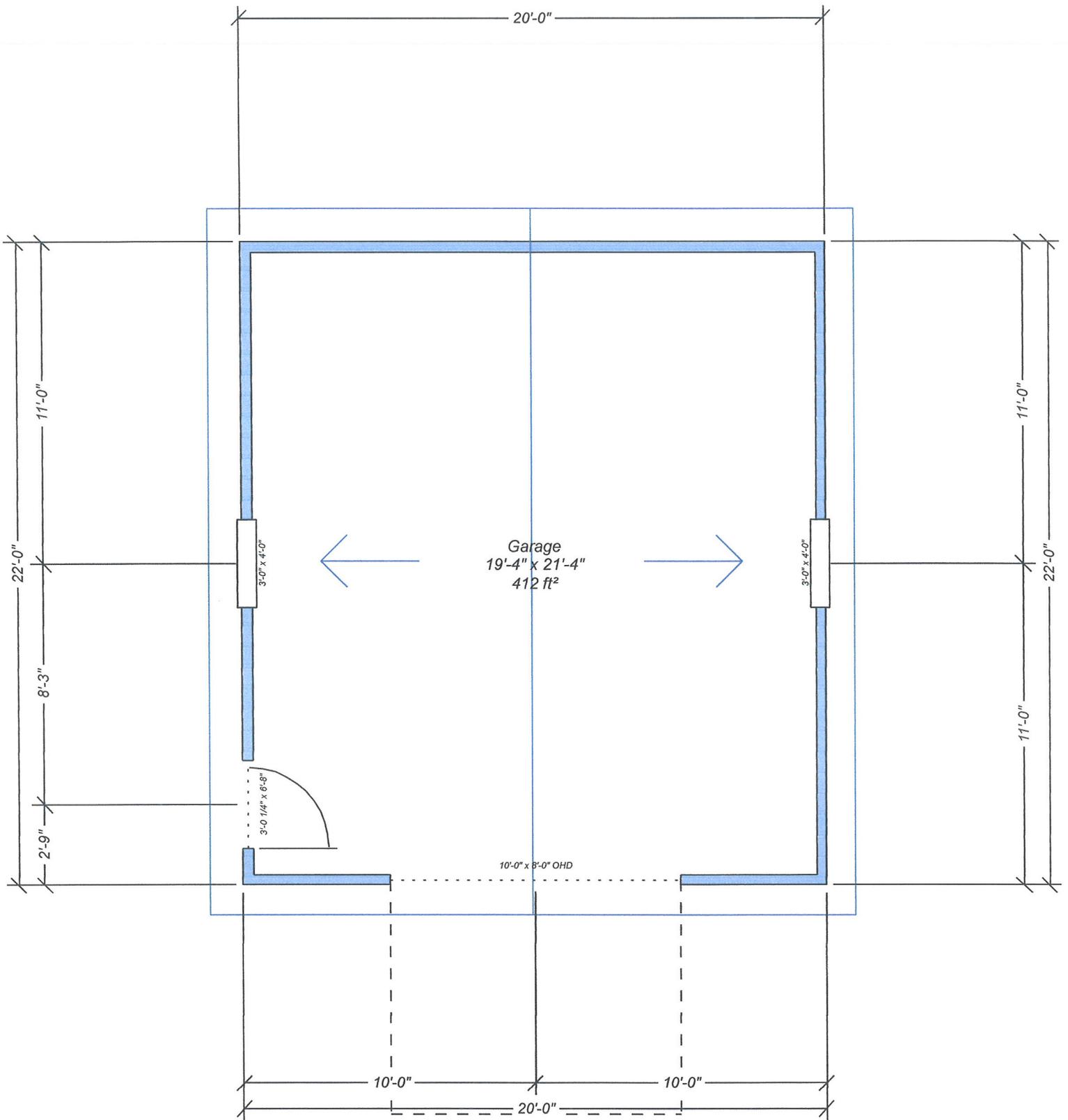
APPLICANT (PRINT): _____ **SIGN:** _____ **DATE:** _____

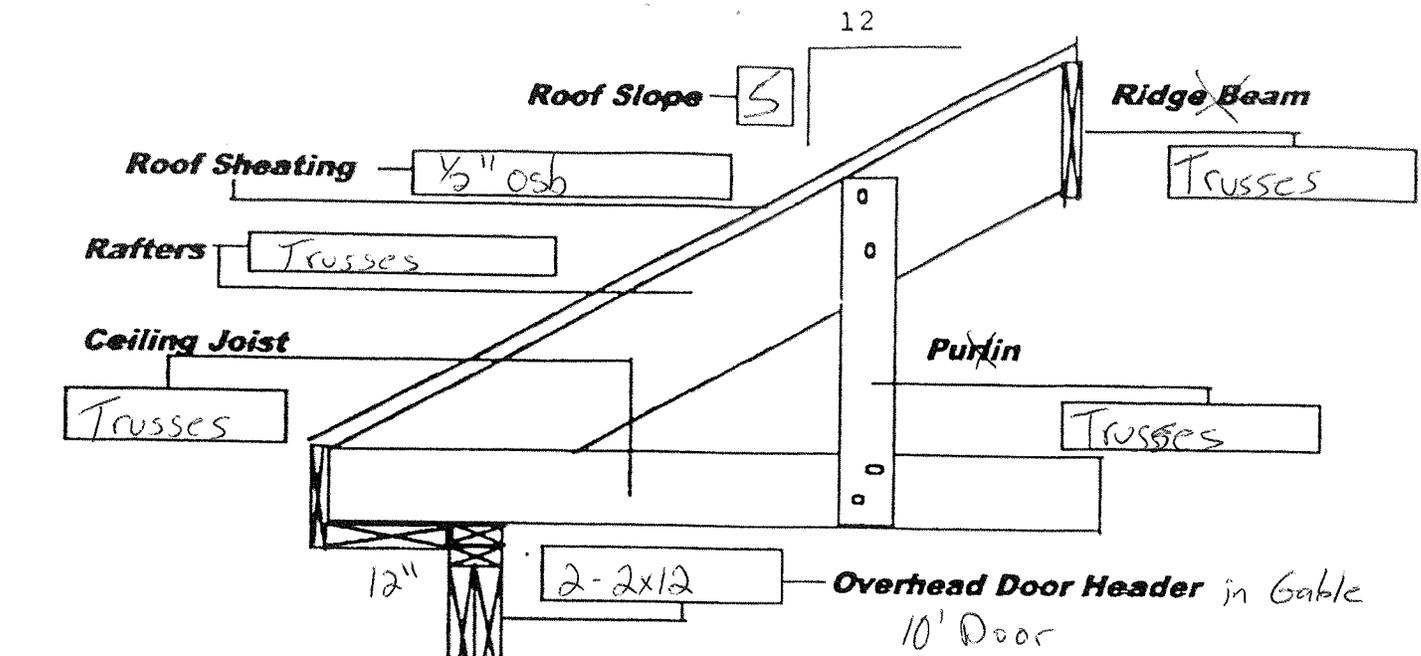
APPROVAL CONDITIONS This permit is issued pursuant to the attached conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. Owner/Builder solely responsible for compliance with all applicable State & Local Building and Zoning codes.

INSPECTIONS NEEDED Building Footing Foundation Rough Insulation Bsmt. Fl. Final
 Electric Rough Service Final Plumbing Rough Underfloor Final HVAC Rough Final

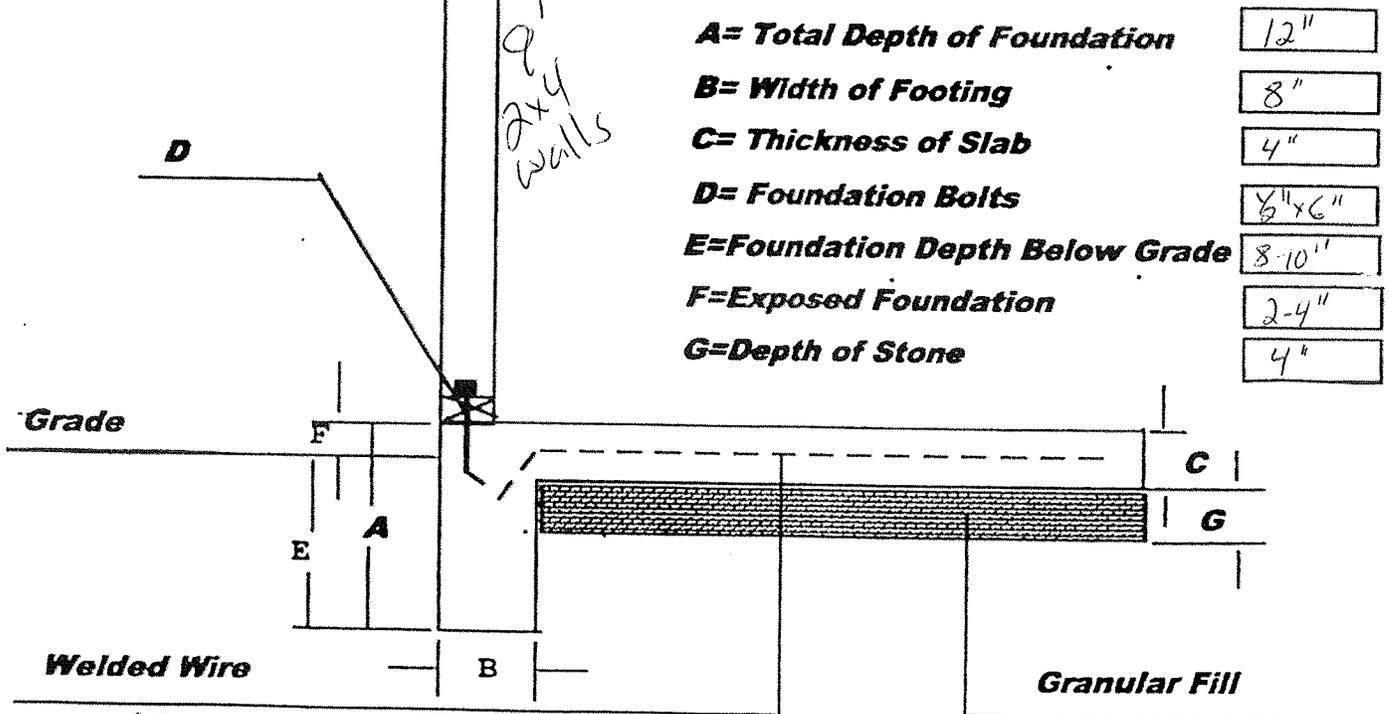
FEES: Building Fee _____ Zoning Fee _____ WI Seal _____ Electric Fee _____ Plumbing Fee _____ HVAC Fee _____ Adm. Fee _____ Other _____ Total _____ S 0.00	PERMIT(S) ISSUED Bldg. # At top of form _____ Zoning # ^R _____ Elec. # _____ Plmb. # _____ HVAC # _____	SEAL NO. _____ Municipality No. _____	RECEIPT CK # _____ Amount \$ _____ Date _____ From _____ Rec By. _____	PERMIT EXPIRATION: Permit expires two years from date issued unless municipal ordinance is more restrictive.	PERMIT ISSUED BY MUNICIPAL AGENT: Name _____ Date _____ Certification No. _____
--	--	--	--	--	---

217
Maple Dr.





Detached Garage Wall Section



- A= Total Depth of Foundation** 12"
- B= Width of Footing** 8"
- C= Thickness of Slab** 4"
- D= Foundation Bolts** 1/2" x 6"
- E= Foundation Depth Below Grade** 8-10"
- F= Exposed Foundation** 2-4"
- G= Depth of Stone** 4"

Detached Garage

Welded Wire
or
Fiber mesh

217 Maple Dr.
Waterloo



BIRRENKOTT SURVEYING, INC.

P.O. Box 237
1677 N. Bristol Street
Sun Prairie, WI. 53590
Phone (608) 837-7463
Fax (608) 837-1081

PLAT OF SURVEY-PLOT PLAN

SURVEYOR'S CERTIFICATE:

I, Daniel V. Birrenkott, hereby certify that this survey is in compliance with the Wisconsin Administrative Code, Chapter A-E7. I also certify that I have surveyed and mapped the lands described hereon and that the map is a correct representation in accordance with the information provided and is correct to the best of my knowledge and belief.

Daniel V. Birrenkott

Wisconsin Professional Land Surveyor No. S-1531

10-1-2018

Description of Record:

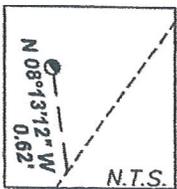
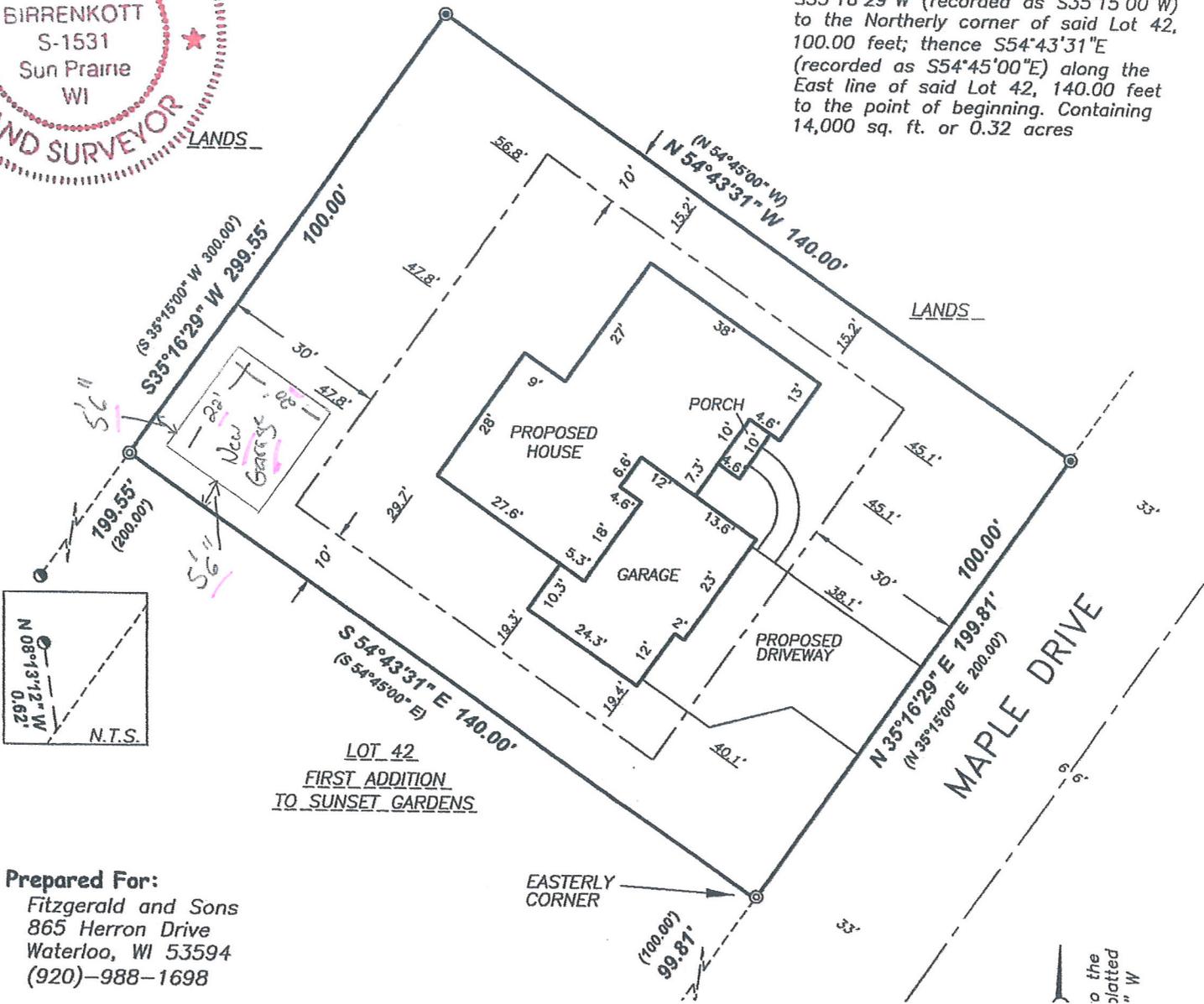
Beg at NE/C Lot 42, 1st Add to Sunset Gardens, N33DG37'E 100 FT, S56DG20'E 139.94FT, S33DG42'W 100FT TO SE/C Lot 42, NW to POB.

SCALE 1" = 30'



Description of Survey:

Part of the Southwest 1/4 of the Southeast 1/4 of Section 5, T8N, R13E, City of Waterloo, Jefferson County, Wisconsin more particularly described as follows: Beginning at the Easterly Corner of Lot 42, 1st Addition to Sunset Gardens, thence N35°16'29"E (recorded as N35°15'00"E), 100.00 feet; thence N54°43'31"W (recorded as N54°45'00"W), 140.00 feet; thence S35°16'29"W (recorded as S35°15'00"W) to the Northerly corner of said Lot 42, 100.00 feet; thence S54°43'31"E (recorded as S54°45'00"E) along the East line of said Lot 42, 140.00 feet to the point of beginning. Containing 14,000 sq. ft. or 0.32 acres



Prepared For:
Fitzgerald and Sons
865 Herron Drive
Waterloo, WI 53594
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